



**Planning Commission
Regular Meeting
February 21, 2023
7:00 p.m.**

1. CALL MEETING TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. APPROVAL OF AGENDA
5. APPROVAL OF MINUTES
 - January 17, 2023 Regular Meeting
6. CORRESPONDENCE / BOARD REPORTS / PRESENTATIONS
 - A. Thering updates from Board of Trustees
 - B. Buckley updates from ZBA
 - C. Shingles updates from Sidewalk and Pathways
7. PUBLIC COMMENT: Restricted to (3) minutes regarding items not on this agenda
8. NEW BUSINESS
 - A. PSPR23-03 Final Site Plan approval for expansion of the Clint's Autobody car repair shop at 5598 S. Mission Rd.**
 - a. Introduction by staff
 - b. Updates from the applicant
 - c. Commission review of the site plan
 - d. Commission deliberation and action (approval, denial, approval with conditions, or postpone action)

 - B. PSPR23-02 Combined Preliminary and Final Site Plan application for the Isabella County Cultural and Recreation Commission's addition to the Isabella Sportsplex Morey Courts building for a new indoor gymnastics facility at 5175 E. Remus Road.**
 - a. Introduction by staff
 - b. Updates from the applicant
 - c. Commission review of the site plan
 - d. Commission deliberation and action (approval, denial, approval with

conditions, or postpone action

9. OTHER BUSINESS

A. **Five-Year Review of the adopted Master Plan**

- a. Updates by staff
- b. Discussion

10. EXTENDED PUBLIC COMMENT: Restricted to (5) minutes regarding any issue

11. FINAL BOARD COMMENT

12. ADJOURNMENT

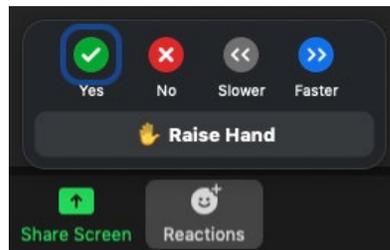
Hybrid Meeting Instructions for the Charter Township of Union Planning Commission

The public can view all Union Township meetings live by clicking on our [YouTube Channel](#). For those who would like to participate, you can do so via Zoom.

[Click here](#) to participate in the Zoom Meeting via computer or smart phone. (Meeting ID Enter “839 8031 3172” Password enter “240465”). Access to the electronic meeting will open at 6:50 p.m. and meeting will begin at 7:00 p.m.

Telephone conference call, dial (312-626-6799). Enter “839 8031 3172” and the “#” sign at the “Meeting ID” prompt, and then enter “240465” at the “Password” prompt. Lastly, re-enter the “#” sign again at the “Participant ID” prompt to join the meeting.

- All public comments for items on the agenda will be taken at the Public Comment and any issue not on the agenda will be taken at the Extended Public Comment section of the Agenda.
- Computer/tablet/smartphone audience: To indicate you wish to make a public comment, please use the “Reactions” icon. **Next, click on the “Raise Hand” icon** near the bottom right corner of the screen.



- **To raise your hand for telephone dial-in participants, press *9.** You will be called on by the last three digits of your phone number for comments, at which time you will be unmuted by the meeting moderator.
- Please state your name and address for the minutes and keep public comments concise.

You will be called upon once all in-person comments have been made, at which time you will be unmuted by the meeting moderator.

Persons with disabilities needing assistance should call the Township office at (989) 772-4600. Persons requiring speech or hearing assistance can contact the Township through the Michigan Relay Center at 711. A minimum of one (1) business day of advance notice will be necessary for accommodation.

CHARTER TOWNSHIP OF UNION
Planning Commission
Regular Meeting Minutes

A regular meeting of the Charter Township of Union Planning Commission was held on January 17, 2023, at 7:00 p.m. at the Union Township Hall.

Meeting was called to order at 7:00 p.m.

Roll Call

Present:

Albrecht, Buckley, Gross, LaBelle, Lapp, Squattrito, Shingles, Thering and Williams

Others Present

Rodney Nanney, Community and Economic Development Director; Peter Gallinat, Zoning Administrator; Tera Green, Administrative Assistant

Approval of Agenda

Gross moved **Shingles** supported to approve the agenda as presented. **Vote: Ayes: 9. Nays: 0. Motion Carried**

Approval of Minutes

Williams moved **Gross** supported to approve the regular meeting minutes from December 20, 2022 with amendments to correct the date of the meeting from November 15, 2022 to December 20, 2022 and correct the time the meeting was called to order from 7:04 p.m. to 7:00 p.m. **Vote: Ayes: 9. Nays: 0. Motion carried.**

Correspondence / Reports/ Presentations

- A. Board of Trustees updates by Thering – gave an update on the Board of Trustees meeting held on January 11, 2023.
- B. ZBA updates by Buckley – gave an update on the ZBA meeting held on December 7, 2022.
- C. Sidewalks and Pathway Prioritization Committee by Shingles – no updates were giving due to no meeting, but mentioned that the committee is absent a chair.

Public Comment

Open 7:09 p.m.

No comments were offered.

Closed 7:10 p.m.

New Business

- A. **Meet with members of the Sidewalks and Pathways Prioritization Committee**
 - a. Discussion of sidewalk projects and future priorities

The Commissioners met with members of the Sidewalk and Pathways Prioritization Committee to discuss current and anticipated Township sidewalk projects. Stan Shingles and Phil Hertzler,

Sidewalk and Pathway Committee members, were present for the discussion. Commissioners express their desire to see an additional category in the staff report to include sidewalk projects that have not been completed with an explanation why and to note of if those projects were granted temporary relief.

B. Adoption of the Annual Report to the Board of Trustees

- a. Introduction by Staff
- b. Discussion
- c. Action (adopt, adopt with revisions, or postpone action)

Gallinat introduced and gave a brief overview of the Planning Commission Annual Report for 2022. Commissioners requested that the report be updated to reflect the newly elected Commissioners to various Boards and changes to the personnel. Commissioner LaBelle inquired on and suggested that the staff keep a record of projects that have been brought to the township but never made it to the Planning Commission.

Buckley moved **Lapp** supported to adopt the annual report with editorial corrections. **Votes: Ayes: 9. Nays: 0. Motion carried.**

C. Five-Year Review of the adopted Master Plan

- a. Introduction by Staff
- b. Discussion

Nanney introduced the report dated January 10th Master Plan Review. The State Planning Enabling Act requires that the Planning Commission review the Master Plan document every five years to determine whether it needs updated or if the plan is acceptable in its current form.

Discussion by the Commissioners.

Extended Public Comments

Open: 8:23 p.m.

No comments were offered.

Closed 8:23 p.m.

Final Board Comment

Squatrito – commented on the expiring terms coming up for three Commissioners and informed the Board that the Michigan Association of Planning has trainings coming up soon.

Williams – inquired on the notification process once new commissioners are appointed.

Squatrito – thanked Commissioner Williams for his year of service.

Thering – requested for Sidewalk and Pathway updates at the Board of Trustee meetings.

LaBelle – inquired on the follow up process for projects that are brought to the staff.

Adjournment – Chairman Squattrito adjourned the meeting at 8:34 p.m.

APPROVED BY:

(Recorded by Tera Green)

Doug LaBelle – Secretary

Tera Albrecht – Vice Secretary

DRAFT

Board Expiration Dates

Planning Commission Board Members (9 Members) 3 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative	James	Thering	11/20/2024
2-Chair	Phil	Squatrito	2/15/2026
3-Vice Chair	Ryan	Buckley	2/15/2025
4-Secretary	Doug	LaBelle II	2/15/2025
5 - Vice Secretary	Tera	Albrecht	2/15/2024
6	Stan	Shingles	2/15/2024
7	Paul	Gross	2/15/2025
8	Nivia	McDonald	2/15/2026
9	Jessica	Lapp	2/15/2026
Zoning Board of Appeals Members (5 Members, 2 Alternates) 3 year term			
#	F Name	L Name	Expiration Date
1- PC Rep	Ryan	Buckley	2/15/2025
2 -	Richard	Barz	12/31/2025
3 -	Liz	Presnell	12/31/2025
4 -	Brandon	LaBelle	12/31/2023
5 -	Eric	Loose	12/31/2024
Alt. #1	David	Coyne	12/31/2024
Alt #2 (BOT Representative)	Jeff	Brown	11/20/2024
Board of Review (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Doug	LaBelle II	12/31/2024
2	Sarvjit	Chowdhary	12/31/2024
3	Bryan	Neyer	12/31/2024
Alt #1	Randy	Golden	12/31/2024
Construction Board of Appeals (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Colin	Herren	12/31/2023
2	Joseph	Schafer	12/31/2023
3	Andy	Theisen	12/31/2023
Hannah's Bark Park Advisory Board (2 Members from Township) 2 year term			
1	Mark	Stuhldreher	12/31/2024
2	John	Dinse	12/31/2023
Chippewa River District Library Board 4 year term			
1	Ruth	Helwig	12/31/2023
2	Lynn	Laskowsky	12/31/2025



Board Expiration Dates

EDA Board Members (9 Members) 4 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative	Bryan	Mielke	11/20/2024
2	Thomas	Kequom	4/14/2023
3	James	Zalud	4/14/2023
4	Richard	Barz	2/13/2025
5	Robert	Bacon	1/13/2027
6	Marty	Figg	6/22/2026
7	Cheryl	Hunter	6/22/2023
8	Jeff	Sweet	2/13/2025
9	David	Coyne	3/26/2026
Mid Michigan Area Cable Consortium (2 Members)			
#	F Name	L Name	Expiration Date
1	Kim	Smith	12/31/2025
2	vacant seat		
Cultural and Recreational Commission (1 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1	Robert	Sommerville	12/31/2025
Sidewalks and Pathways Prioritization Committee (2 year term -PC Appointments)			
#	F Name	L Name	Expiration Date
1 - BOT Representative	Kimberly	Rice	11/20/2024
2 - PC Representative	Stan	Shingles	2/15/2024
3 - Township Resident	Jeff	Siler	8/15/2023
4 - Township Resident	vacant seat		10/17/2022
5 - Member at large	Phil	Hertzler	8/15/2023
Mid Michigan Aquatic Recreational Authority (2 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1-City of Mt. Pleasant	John	Zang	12/31/2023
2-City of Mt. Pleasant	Judith	Wagley	12/31/2022
1-Union Township	Stan	Shingles	12/31/2023
2-Union Township	Allison	Chiodini	12/31/2025
1-Mt. Pleasant Schools	Lisa	Diaz	12/31/2022
1-Member at Large	Mark	Stansberry	2/14/2025
2- Member at Large	Michael	Huenemann	2/14/2025



Charter Township of Union
APPLICATION FOR SITE PLAN REVIEW

Minor Site Plan Preliminary Site Plan Final Site Plan

A Completed Application will contain all the information required per the Zoning Ordinance, Section 14.2 (Site Plan Review).

Name of Proposed Development/Project: CLINT'S BODY SHOP
Common Description of Property & Address (if issued): 5598 S. MISSION ROAD
MT. PLEASANT, 48858
Applicant's Name(s): CLINT'S BODY SHOP
Phone/Fax numbers: 989-317-0742 Email: gwendalyn@gmail.com
Address: 5598 S. MISSION ROAD City: MT. PLEASANT Zip: 48858

Legal Description: Attached Included on Site Plan Tax Parcel ID Number(s): 14-034-40-001-08
Existing Zoning: B-4 Land Acreage: 1.73 Existing Use(s): AUTO BODY SHOP / RESIDENTIAL
ATTACHED: Letter describing the project and how it conforms to Section 14.2.S. (Standards for Site Plan Approval)

Firm(s) or Individuals(s) who prepared site plan(s): 1. Name: CENTRAL MI SURVEYING & DEV. Phone: 989-775-0756 Email: tbebee@cms-d.com
2. Address: 2257 EAST BROOMFIELD ROAD City: MT. PLEASANT State: MI Zip: 48858
Contact Person: TIMOTHY BEBEE Phone: 989-775-0756
Legal Owner(s) of Property: 1. Name: GWENDALYN OSWALD Phone: 989-317-0742
Address: 5594 SOUTH MISSION ROAD City: MT. PLEASANT State: MI Zip: 48858
Signature: [Signature] Interest in Property: OWNER

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and/or removal of work installed. Approval of this plan shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.

[Signature]

11/30/22

Signature of Applicant

Date

Office Use Only

Application Received By: Fee Paid: \$
Date Received: Escrow Deposit Paid: \$

CHARTER TOWNSHIP OF UNION

SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: CLINT'S BODY SHOP

Name of business owner(s): CLINT AND GWENDALYN OSWALD

Street and mailing address: 5598 SOUTH MISSION ROAD
MT. PLEASANT, MI 48858

Telephone: 989-317-0742

Fax: N/A

Email: gwendalyn@gmail.com

I affirm that the information submitted is accurate.

Owner(s) signature and date:
Clint Oswald 6-27-22
Gwendalyn Oswald 6-27-22

Information compiled by:

PERMIT INFORMATION CHECKLIST FOR FINAL SITE PLANS

Michigan.gov/EGLEpermits

The Michigan Department of Environment, Great Lakes, and Energy (EGLE) has prepared a list of key questions to help identify what EGLE permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from EGLE, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: Michigan.gov/EHSguide. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the EGLE programs noted below. [insertions and edits by Union Township]

How Do I Know that I Need a State of Michigan, County or Local Permit or Approval?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
1) Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)? Air Quality Permit to Install, Air Quality Division (AQD), <u>Permit Section</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
2) Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos. Asbestos Notification, AQD, <u>Asbestos Program</u> , 517-284-6777	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
3) Please consult the <u>Permitting at the Land and Water Interface Decision Tree document</u> to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?). Land and Water Featured Programs (Water Resources Division - WRD) - <u>Joint Permit Application</u> , 517-284-5567:		
a. Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
b. Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
c. Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
d. Does the project involve construction of a dam, weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
4) Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction) or does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? <u>Union Township and Isabella County</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
5) Does the project involve the construction or alteration of a water supply system? <u>Union Township Public Services Department and Drinking Water & Environmental Health Division (DWEHD)</u> , 517-284-6524	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
6) Does the project involve construction or alteration of any sewage collection or treatment facility? <u>Union Township Public Services Department and WRD, Part 41 Construction Permit Program (staff)</u> , 906-228-4527, or <u>EGLE District Office</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
7) <u>Public Swimming Pool Construction (Spas/Hot Tubs) Permits</u> : Will your business involve the construction or modification of a public swimming pool, spa or hot tub? <u>Union Township and Public Swimming Pool Program</u> , 517-284-6541, or <u>EGLE District Office</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
8) Does the project involve the construction or modification of a campground? <u>Union Township and DWEHD, Campgrounds program</u> , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

9) Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground? Materials Management Division (MMD), <u>Solid Waste</u> , 517-284-6588, or <u>EGLE District Office</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
10) Does the project involve the construction of an on-site treatment, storage, or disposal facility for hazardous waste? MMD, Hazardous Waste Section, <u>Treatment, Storage and Disposal</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Who Regulates My Drinking (Potable) Water Supply?		
11) I am buying water from the municipal water supply system Contact the <u>Union Township Public Services Dept.</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
12) I have a Non-Community Water Supply (Type II) <u>Guide</u> , <u>Contact (District or County) Local Health Department</u> , 517-485-0660	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
13) I am a community water supply (Type I) <u>Community Water Supply</u> , <u>DWEHD District Office Community Water Supply Program</u> , 517-284-6512	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
14) Do you desire to develop a <u>withdrawal of over 2,000,000 gallons of water per day</u> from any source including groundwater, inland surface water, or the Great Lakes and their connecting waterways? WRD, Great Lakes Shorelands Unit, <u>Water Use Program</u> , 517-284-5563	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Who Regulates My Wastewater Discharge System?		
15) NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water? WRD, <u>EGLE District Office</u> , or <u>National Pollutant Discharge Elimination (NPDES) Permit Program</u> , 517-284-5568	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
16) Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? WRD, <u>Permits Section</u> , or <u>EGLE District Office</u> , 517-284-5588	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
17) Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)? WRD, <u>Groundwater Permits Program</u> , 517-290-2570	Y <input type="checkbox"/>	N <input type="checkbox"/>
18) Does the project involve the drilling or deepening of wells for waste disposal? <u>Oil, Gas and Minerals Division (OGMD)</u> , 517-284-6841	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Operational Permits Are Relevant to My Operation and Air Emissions?		
19) Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants? AQD, <u>Permit Section</u> , 517-284-6634	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
20) Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel? AQD, <u>Acid Rain Permit Program</u> , 517-780-7843	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Operational Permits Are Relevant to My Waste Management?		
21) Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground? <u>MMD</u> , 517-284-6588 or <u>EGLE District Office</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
22) Does the project involve the on-site treatment, storage, or disposal of hazardous waste? <u>MMD</u> , <u>Hazardous and Liquid Waste</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
23) Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (<u>Hazardous Waste Program Forms & License Applications</u>) <u>MMD</u> , <u>EGLE District Office</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

24) Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form? MMD, <u>Radioactive Material and Standards Unit</u> , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
25) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD <u>Radioactive Material and Standards Unit</u> , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
26) Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal? MMD, <u>Medical Waste Regulatory Program</u> , 517-284-6594	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Sector-Specific Permits May be Relevant to My Business?		
Transporters		
27) Does the project involve the <i>transport</i> of some other facility's non-hazardous liquid waste? MMD, <u>Transporter Program</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
28) Does the project involve the <i>transport</i> of hazardous waste? MMD, <u>Transporter Program</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
29) Do you engage in the business of transporting bulk water for drinking or household purposes (except for your own household use)? DWEHD, <u>Water Hauler Information</u> , 517-284-6527	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
30) Does the project involve <i>transport</i> of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground? DWEHD, <u>Septage Program</u> , 517-284-6535	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
31) Do you store, haul, shred or process <i>scrap tires</i> ? MMD, <u>Scrap Tire Program</u> , 517-284-6586	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Sectors		
32) Is the project a <i>dry cleaning</i> establishment utilizing perchloroethylene or a flammable solvent in the cleaning process? AQD, <u>Dry Cleaning Program</u> , 517-284-6780	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
33) Does your <i>laboratory</i> test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act? <u>Laboratory Services Certifications</u> , 517-284-5424	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
34) Does the project involve the operation of a <i>public swimming pool</i> ? DWEHD, <u>Public Swimming Pools Program</u> , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
35) Does the project involve the operation of a <i>campground</i> ? Union Township and DWEHD, <u>Campgrounds</u> , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Permits Do I Need to Add Chemicals to Lakes and Streams?		
36) Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc.) in a water body (i.e. lake, pond or river)? WRD, <u>Aquatic Nuisance Control</u> , 517-284-5593	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
37) Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? WRD, <u>Surface Water Assessment Section</u> , 517-331-5228	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

Why would I be subject to Oil, Gas and Mineral Permitting?	
38) Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)? OGMD, <u>Petroleum Geology and Production Unit</u> , 517-284-6826	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
39) Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline? OGMD, Minerals and Mapping Unit, <u>Sand Dune Mining Program</u> , 517-284-6826	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
40) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD, <u>Radioactive Protection Programs</u> , 517-284-6581	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
<u>Petroleum & Mining</u> , OGMD, 517-284-6826	
41) Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
42) Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
43) Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
44) Does the project involve mining coal?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
45) Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
46) Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>

Contact Union Township and EGLE Permits & Bonding, OGMD, 517-284-6841

PROPOSED BUILDING ADDITION

5598 S. MISSION ROAD, MT. PLEASANT, MICHIGAN

PROOF OF OWNERSHIP:

WARRANTY DEED, LIBER 185

GRANTED BY GARY P. GARDNER LIMITED LIABILITY COMPANY, WHOSE ADDRESS IS 3209 E. TO CLINTON JERRY OSWALD WHOSE ADDRESS IS 5598 S.

DATED JUNE 24, 2019

OVERALL PARCEL DESCRIPTION:

PART OF THE NORTH 1/2 OF SECTION 34, T14N-R04W, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, TO FIX THE POINT OF BEGINNING, COMMENCE AT THE EAST 1/4 CORNER OF SAID SECTION; THENCE S.00°-15'-25"W., ON AND ALONG THE EAST LINE OF SAID SECTION, 220.00 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUING S.00°-15'-25"W., ON SAID EAST SECTION LINE, 188.00 FEET; THENCE S.89°-29'-18"W., PARALLEL WITH THE EAST AND WEST 1/4 LINE OF SAID SECTION, 400.00 FEET; THENCE N.00°-15'-25"E., PARALLEL WITH SAID EAST SECTION LINE, 188.00 FEET; THENCE N.89°-29'-18"E., PARALLEL WITH SAID EAST AND WEST 1/4 LINE, 400.00 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 1.73 ACRES OF LAND AND SUBJECT TO HIGHWAY USE FOR S. MISSION ROAD OF THE EAST 50.00 FEET THEREOF AND ALSO SUBJECT TO AND TOGETHER WITH ANY OTHER EASEMENTS AND/OR RESTRICTIONS OF RECORD.

ENHANCEMENT PARCEL DESCRIPTION:

PART OF THE NORTH 1/2 OF THE NORTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 34, T.14 N.- R.4 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, TO FIX THE POINT OF BEGINNING, COMMENCE AT THE EAST 1/4 CORNER OF SAID SECTION; THENCE S.00°-15'-25"W., ON AND ALONG THE EAST LINE OF SAID SECTION, 408.00 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUING S.00°-15'-25"W., ON SAID EAST SECTION LINE, 40.00 FEET; THENCE S.89°-29'-18"W., PARALLEL WITH THE EAST AND WEST 1/4 LINE OF SAID SECTION, 400.00 FEET; THENCE N.00°-15'-25"E., PARALLEL WITH SAID EAST SECTION LINE, 40.00 FEET; THENCE N.89°-29'-18"E., PARALLEL WITH SAID EAST AND WEST 1/4 LINE, 400.00 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 0.37 ACRES OF LAND AND SUBJECT TO HIGHWAY USE FOR S. MISSION ROAD OF THE EAST 50.00 FEET THEREOF AND ALSO SUBJECT TO AND TOGETHER WITH ANY OTHER EASEMENTS AND/OR RESTRICTIONS OF RECORD.

ENHANCED PARCEL DESCRIPTION:

PART OF THE NORTH 1/2 OF THE NORTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 34, T.14 N.- R.4 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, TO FIX THE POINT OF BEGINNING, COMMENCE AT THE EAST 1/4 CORNER OF SAID SECTION; THENCE S.00°-15'-25"W., ON AND ALONG THE EAST LINE OF SAID SECTION, 220.00 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUING S.00°-15'-25"W., ON SAID EAST SECTION LINE, 228.00 FEET; THENCE S.89°-29'-18"W., PARALLEL WITH THE EAST AND WEST 1/4 LINE OF SAID SECTION, 400.00 FEET; THENCE N.00°-15'-25"E., PARALLEL WITH SAID EAST SECTION LINE, 228.00 FEET; THENCE N.89°-29'-18"E., PARALLEL WITH SAID EAST AND WEST 1/4 LINE, 400.00 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 2.10 ACRES OF LAND AND SUBJECT TO HIGHWAY USE FOR S. MISSION ROAD OF THE EAST 50.00 FEET THEREOF AND ALSO SUBJECT TO AND TOGETHER WITH ANY OTHER EASEMENTS AND/OR RESTRICTIONS OF RECORD.

B-4 - GENERAL BUSINESS DISTRICT	
MINIMUM FRONT YARD SETBACK	20 FT
MINIMUM SIDE YARD SETBACK	10 FT (J)
MINIMUM REAR YARD SETBACK	20 FT (J)
MINIMUM LOT FRONTAGE	80 FT
MINIMUM LOT AREA (SQ FT)	12,000 SQ FT
MAXIMUM BUILDING HEIGHT	35 FT
MAXIMUM LOT COVERAGE (%)	50%

J. AN ADDITIONAL 20.0 FEET OF SIDE AND REAR YARD SETBACK SHALL BE PROVIDED WHEN ABUTTING THE AG (AGRICULTURAL) DISTRICT, ANY RESIDENTIAL DISTRICT, OR AN EXISTING AGRICULTURAL OR RESIDENTIAL USE.

MISS DIG:

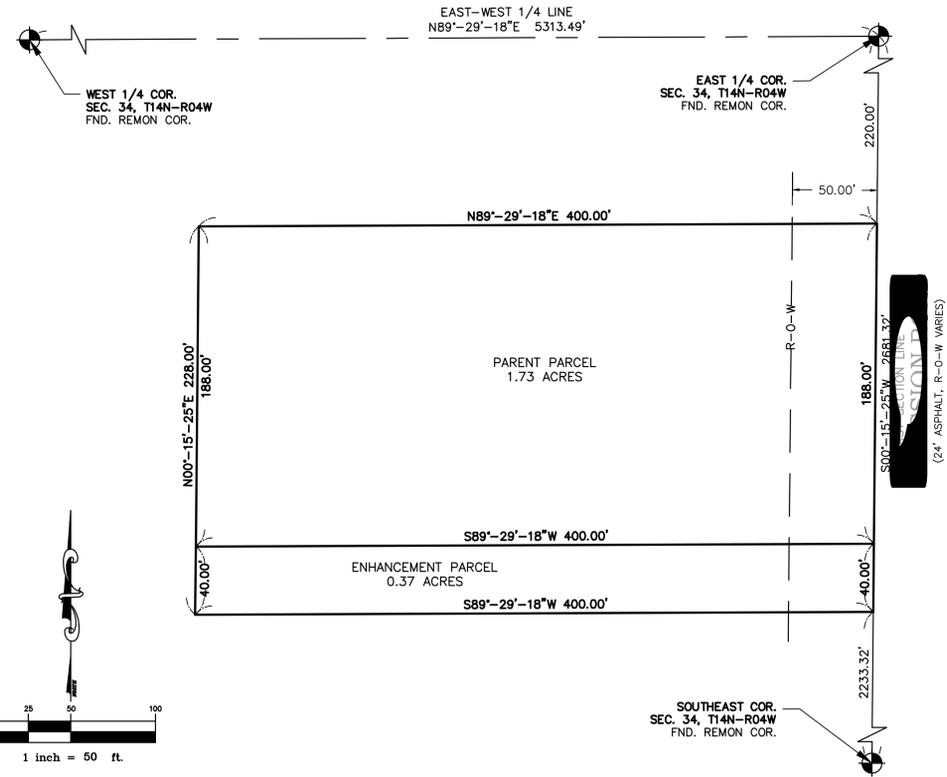
FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL "MISS DIG" 1-800-482-7171 A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY EXCAVATION. ALL "MISS DIG" PARTICIPATING MEMBERS WILL BE APPROPRIATELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

UTILITY NOTE:

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY COMPANY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE LOCATION AND DEPTH OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-482-7171) PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL MAKE EVERY EFFORT TO PROTECT AND OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND. UNDERGROUND SERVICE LEADS FOR GAS, ELECTRIC, TELEPHONE AND CABLE MAY BE ACROSS PROPERTY, NO INFORMATION AVAILABLE PLEASE CALL MISS DIG.



LOCATION MAP
NOT TO SCALE



BOUNDARY SURVEY

LEGEND SYMBOLS		
○ BOLLARD	⊠ GAS RISER	⊙ SOIL BORING
⊠ CATCH BASIN (CURB INLET)	⊠ GUY ANCHOR	⊙ STORM SEWER MANHOLE
⊠ CATCH BASIN (ROUND)	⊠ HYDRANT - EXISTING	⊠ TELEPHONE RISER
⊠ CATCH BASIN (SQUARE)	⊠ HYDRANT - PROPOSED	● TREE - CONIFEROUS
⊙ CLEAN OUT	⊠ LIGHT POLE	● TREE - DECIDUOUS
→ DRAINAGE FLOW	⊠ MAILBOX	⊠ UTILITY POLE
⊠ ELECTRICAL BOX	⊠ MONITORING WELL	⊠ WATER MAIN VALVE
● FOUND CONC. MONUMENT	⊠ SANITARY SEWER MANHOLE	⊠ WATER SHUT-OFF
○ FOUND IRON	● SET IRON	⊠ WATER WELL
⊠ GAS MAIN VALVE	⊠ SIGN	⊠ WOOD STAKE

LINETYPES	
—ELEC—	BURIED ELECTRICAL CABLE
—PHONE—	BURIED TELEPHONE CABLE
—DITCH-CL—	CENTERLINE OF DITCH
—FM—	FORCE MAIN
—GAS—	GAS MAIN
—RD-CL—	ROAD CENTERLINE
—8" SAN—	SANITARY SEWER
—12" SS—	STORM SEWER
—EX-TOS—	TOE OF SLOPE
—EX-TOB—	TOP OF BANK
—OHE—	UTILITIES - OVERHEAD
—UTL—	UTILITIES - UNDERGROUND
—12" WM—	WATER MAIN

HATCH PATTERNS	
[Hatch Pattern]	ASPHALT - EXISTING
[Hatch Pattern]	ASPHALT - PROPOSED
[Hatch Pattern]	CONCRETE
[Hatch Pattern]	GRAVEL
[Hatch Pattern]	LANDSCAPING
[Hatch Pattern]	RIP-RAP

SHEET INDEX	
1	COVER SHEET
2	EXISTING TOPOGRAPHY & DEMOLITION
3	SITE HORIZONTAL PLAN
4	LIGHTING AND LANDSCAPING PLAN
5	RESIDENTIAL FLOOR PLAN
6	GENERAL SITE GRADING PLAN
7	SOIL EROSION PLAN
8	DETAILS SHEET

BEARING BASIS:
PER GEODETIC OBSERVATION WGS-84, THE BEARING OF THE EAST SECTION LINE BETWEEN THE EAST 1/4 CORNER AND THE SOUTHEAST CORNER WAS DETERMINED TO BE S00°-15'-25"W.

SITE:	5598 S. MISSION ROAD MT. PLEASANT, MI 48858
CLIENT:	CLINT'S BODY SHOP 5598 S. MISSION ROAD MT. PLEASANT, MI 48858 CONTACT: GWENDALYN OSWALD PHONE: (989) 317-0742 EMAIL: gwendalyn@gmail.com
CONSULTANT:	CENTRAL MICHIGAN SURVEYING & DEVELOPMENT CO., INC. 2257 E. BROOMFIELD ROAD MT. PLEASANT, MI 48858 CONTACT PERSON: TIMOTHY E BEBEE PHONE: (989) 775-0756 FAX: (989) 775-5012 EMAIL: info@cms-d.com

CHARTER COMMUNICATIONS 915 E. BROOMFIELD STREET MT. PLEASANT, MI 48858 ALMA, MI 48801 (989) 621-4932 RANDY BUNKER rbunker@chartercom.com	CHARTER TOWNSHIP OF UNION PUBLIC WATER/PUBLIC SEWER 2010 S. LINCOLN ROAD MT. PLEASANT, MI 48858 (989) 772-4600 EXT 24 KIM SMITH ksmith@unionshipmi.com
CONSUMERS ENERGY 1325 WRIGHT AVENUE ALMA, MI 48801 (989) 466-4282 KIM STUDD kimberly.studd@cmsenergy.com	CHARTER TOWNSHIP OF UNION PLANNING & ZONING 2010 S. LINCOLN ROAD MT. PLEASANT, MI 48858 (989) 772-4600 EXT 241 PETER GALLINAT pgallinat@unionshipmi.com
FRONTIER 345 PINE AVENUE ALMA, MI 48801 (989) 463-0392 MARK A. MARSHALL Mark.Marshall@ftr.com	DRAIN COMMISSIONERS OFFICE ISABELLA COUNTY BUILDING 200 N. MAIN STREET ROOM 140 MT. PLEASANT, MI 48857 (989) 317-4072 ROBERT WILLOUGHBY drain@isabellacounty.org
DTE ENERGY 4420 44TH STREET S.E., SUITE B KENTWOOD, MI 49512 (616) 954-4623 MARY JO MCKERSE mckersiem@dteenergy.com	ISABELLA COUNTY ROAD COMMISSION 2261 E. REMUS ROAD MT. PLEASANT, MI 48858 (989) 773-7131 EXT 115 PATRICK GAFFNEY P.Gaffney@isabellacounty.com
MT. PLEASANT FIRE DEPARTMENT 804 E. HIGH STREET MT. PLEASANT, MI 48858 (989) 779-5100 EXT 5122 LT. BRAD DOEPKER bdoepker@mt-pleasant.org	



COVER SHEET
CLINT'S BODY SHOP
PART OF THE NORTH 1/2 OF THE NORTH 1/2 OF THE SOUTHEAST 1/4, SECTION 34, T14N-R04W, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

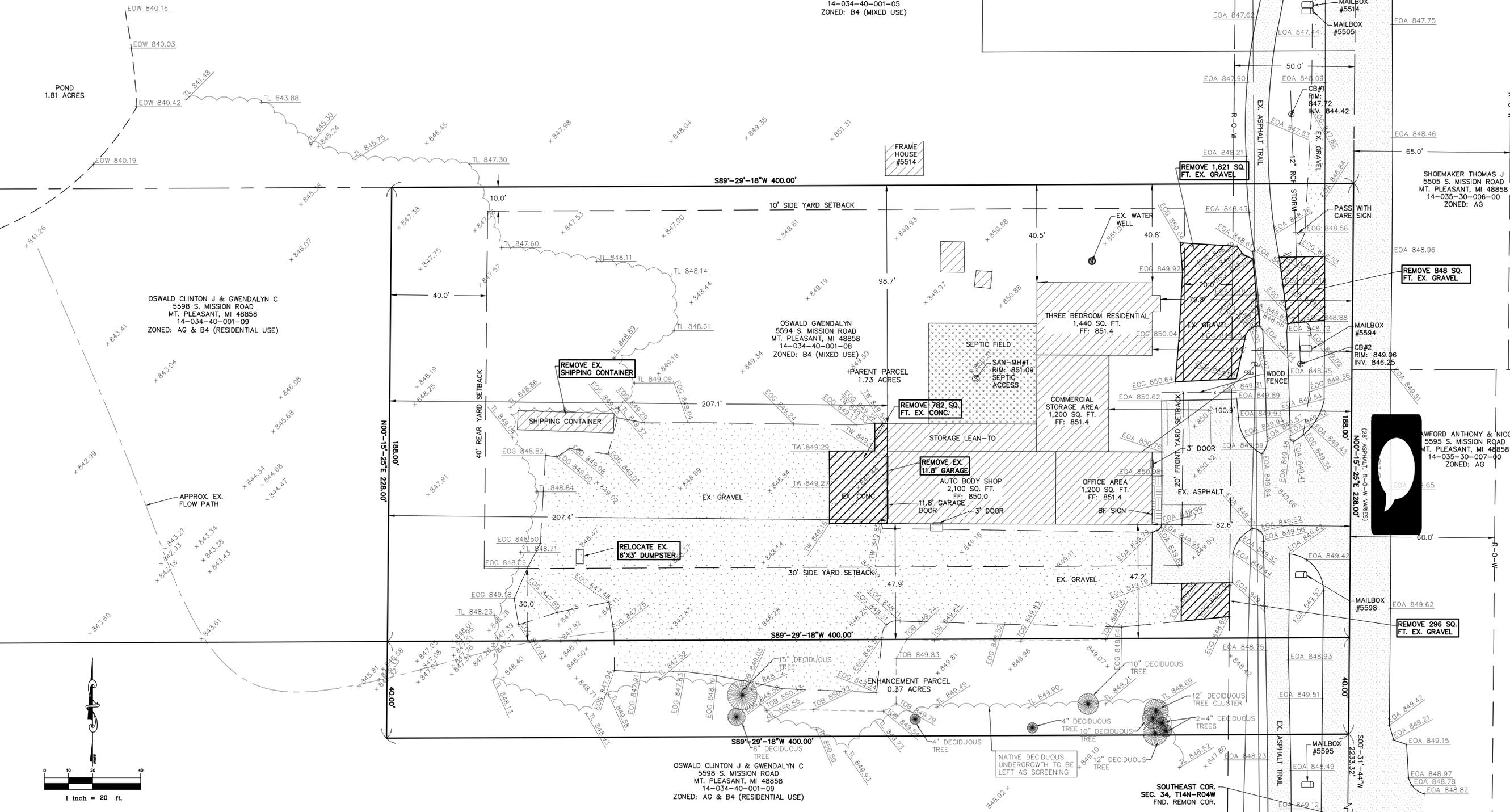
REVISIONS:
PER UNION TOWNSHIP AND CLIENT 8-22-22

SUBMITTALS:
PRELIMINARY SUBMITTAL TO UNION TWP. 6-28-22
SUBMITTAL TO UNION TOWNSHIP 8-24-22
SUBMITTAL TO UNION TOWNSHIP PLANNING 1-31-23

JOB NUMBER: 2108-132
DRAWN BY: CDS
DESIGNED BY: TELB
CHECKED BY: TELB
SCALE: N/A
SHEET NUMBER: 1 OF 8

WITNESSES:
EAST 1/4 COR.
 SEC. 34, T14N-R04W
 FND. REMON COR., PER LCR L. 2, P. 163
 S70°W 35.46' CENTER OF A ROAD SIGN POST
 WEST 43.23' FND N&D IN THE S FACE OF A POWER POLE
 N55°E 59.73' FND N&T IN THE SE FACE OF A 26" TREE
 S45°E 57.70' FND N&T IN THE SW FACE OF A POWER POLE

SOUTHEAST COR.
 SEC. 34, T14N-R04W
 FND. REMON COR., PER LCR L. 2, P. 165
 S40°W 101.65' NE CORNER OF A BRICK CHURCH SIGN
 S60°E 101.77' FND SPIKE IN THE N FACE OF A 30" MAPLE TREE
 N70°E 85.05' FND N&T IN THE NW FACE OF A 12" MAPLE TREE
 N35°W 60.48' FND N&T IN THE SW FACE OF A STUB POWER POLE



EXISTING TOPOGRAPHY & DEMOLITION
 CLINT'S BODY SHOP
 PART OF THE NORTH 1/4 OF THE NORTH 1/2 OF THE
 SOUTHEAST 1/4, SECTION 34, T14N-R04W,
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:
 PER UNION TOWNSHIP AND CLIENT 8-22-22

SUBMITTALS:
 PRELIMINARY SUBMITTAL TO UNION TWP. 6-28-22
 SUBMITTAL TO UNION TOWNSHIP 8-24-22
 SUBMITTAL TO UNION TOWNSHIP PLANNING 1-31-23

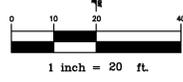
JOB NUMBER: 2108-132
DRAWN BY: CDS
DESIGNED BY: TELB
CHECKED BY: TELB

SHEET NUMBER: 2 of 8

SCALE: 1" = 20'



2257 E. BROOMFIELD ROAD
 MT. PLEASANT, MICHIGAN 48858
 PHONE: (989) 775-0756
 FAX: (989) 775-5012
 EMAIL: info@cdms-d.com



OSWALD CLINTON J & GWENDALYN C
 5598 S. MISSION ROAD
 MT. PLEASANT, MI 48858
 14-034-40-001-09
 ZONED: AG & B4 (RESIDENTIAL USE)

SOUTHEAST COR.
 SEC. 34, T14N-R04W
 FND. REMON COR.

SELLING/LEASING NOTE: THE OWNER DOES NOT INTEND TO SELL OR LEASE THE AUTO BODY SHOP PORTION OF THE PROPERTY PRIOR TO OR AFTER THE COMPLETION OF THE PROPOSED SITE WORK. THE OWNER INTENDS TO LEASE THE THREE BEDROOM RESIDENTIAL PORTION OF THE PROPERTY TO TENANTS.

USE STATEMENT: THE CURRENT USE OF THE PROPERTY IS A MIXED USE BETWEEN AN AUTO BODY SHOP IN THE SOUTHERN PORTION OF THE MAIN BUILDING, AND A THREE BEDROOM RESIDENTIAL RENTAL UNIT IN THE NORTHERNMOST PORTION. WITH THIS ADDITION, THERE WILL BE NO CHANGE TO THE STATED USES. THE ADDITION WILL BE FOR THE AUTO BODY SHOP ONLY.

EXISTING NATURAL FEATURES: THE AREA OF THE PROPOSED EXPANSION IS CURRENTLY LAWN AND GRAVEL AREAS. NO CHANGES TO THE EXISTING SITE FOLIAGE ARE PROPOSED.

EXISTING AND PROPOSED UTILITIES: EXISTING ON-SITE SEPTIC SYSTEM WILL SERVICE THE PROPOSED EXPANSION. THERE ARE NO PUBLIC SEWER OR WATER SERVICES AVAILABLE ALONG S. MISSION ROAD.

RECYCLING NOTE: THE PROPERTY UTILIZES RECYCLING BINS FOR METAL AND CARDBOARD LOCATED WITHIN THE BUILDING. THIS WILL REMAIN UNCHANGED DURING CONSTRUCTION AND EXPANSION.

HOURS OF OPERATION: THE EXISTING BUSINESS IS OPEN TO THE PUBLIC FROM 8:00AM TO 5:00PM ON WEEKDAYS AND CLOSED ON WEEKENDS. WORKING HOURS ARE FROM 7:00AM TO 7:00PM ON WEEKDAYS AND AS NEEDED ON WEEKENDS. THE BUSINESS IS ALSO OPEN BY APPOINTMENT DURING ALL WORKING HOURS.

DEVELOPMENT SCHEDULE: PROPOSED BUILDING ADDITION, ALL CONCRETE ADDITIONS, AND COMMERCIAL PARKING SPACES WILL BE INSTALLED BY THE END OF THE 2023 CONSTRUCTION SEASON. PROPOSED RESIDENTIAL PARKING SPACES AND DRIVEWAY WILL BE INSTALLED BY THE END OF THE 2025 CONSTRUCTION SEASON.

PARKING TABLE:

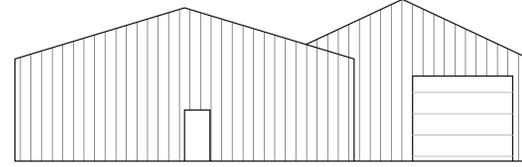
AUTO REPAIR SHOP:
 EMPLOYEE PARKING:
 REQUIRED: 1 SPACE FOR EACH EMPLOYEE
 MAX EMPLOYEES = 3 = 3 SPACES

CUSTOMER PARKING:
 REQUIRED: 1 SPACE FOR EVERY 2 CUSTOMERS
 MAX OCCUPANCY = 12 = 6 SPACES

RESIDENTIAL UNIT:
 REQUIRED: 2 SPACES PER DWELLING UNIT
 1 DWELLING UNIT = 2 = 2 SPACES

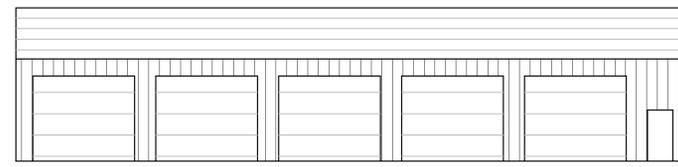
TOTAL REQUIRED SPACES:
 3 FOR EMPLOYEES
 6 FOR CUSTOMERS
 2 FOR RESIDENTS
 11 TOTAL REQUIRED (1 REQ. ADA SPACE)

PLANNED PARKING:
 REG. PAVED PARKING: 10 SPACES
 ADA PAVED PARKING: 1 SPACES
 TOTAL PLANNED PARKING: 11 SPACES (1 REQ. ADA SPACES)



PROPOSED ADDITION WEST ELEVATION

NOT TO SCALE



PROPOSED ADDITION SOUTH ELEVATION

NOT TO SCALE



EXISTING EAST ELEVATION (BUSINESS)

NOT TO SCALE



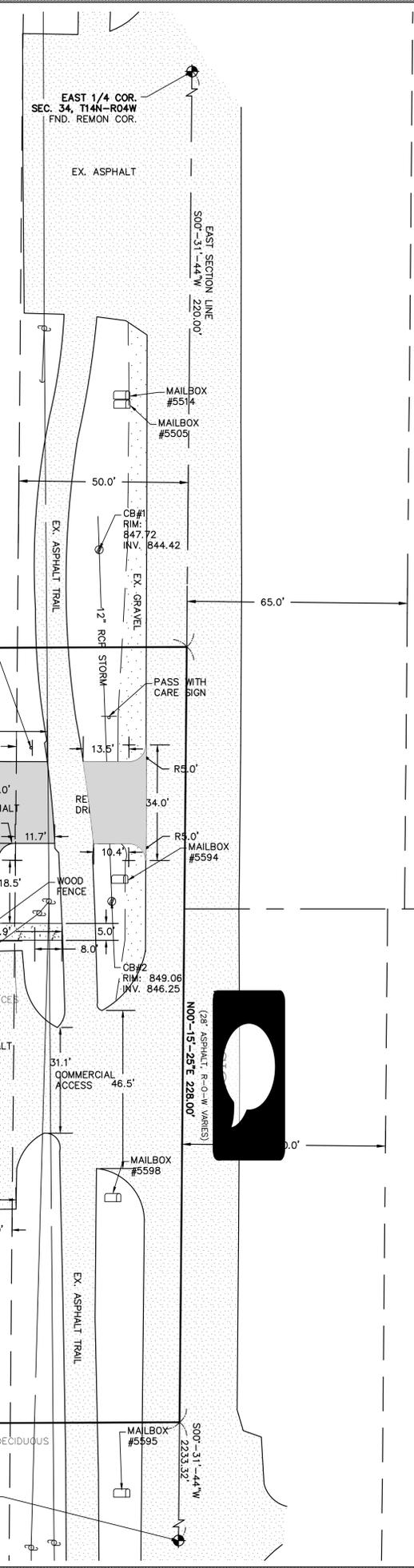
EXISTING WEST ELEVATION

NOT TO SCALE



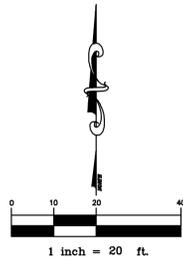
EXISTING EAST ELEVATION (RESIDENTIAL)

NOT TO SCALE



POND
1.81 ACRES

APPROX. EX. FLOW PATH



OVERALL HORIZONTAL PLAN
 CLINT'S BODY SHOP
 PART OF THE NORTH 1/4 OF THE NORTH 1/2 OF THE
 SOUTHEAST 1/4, SECTION 34, T14N-R04W,
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

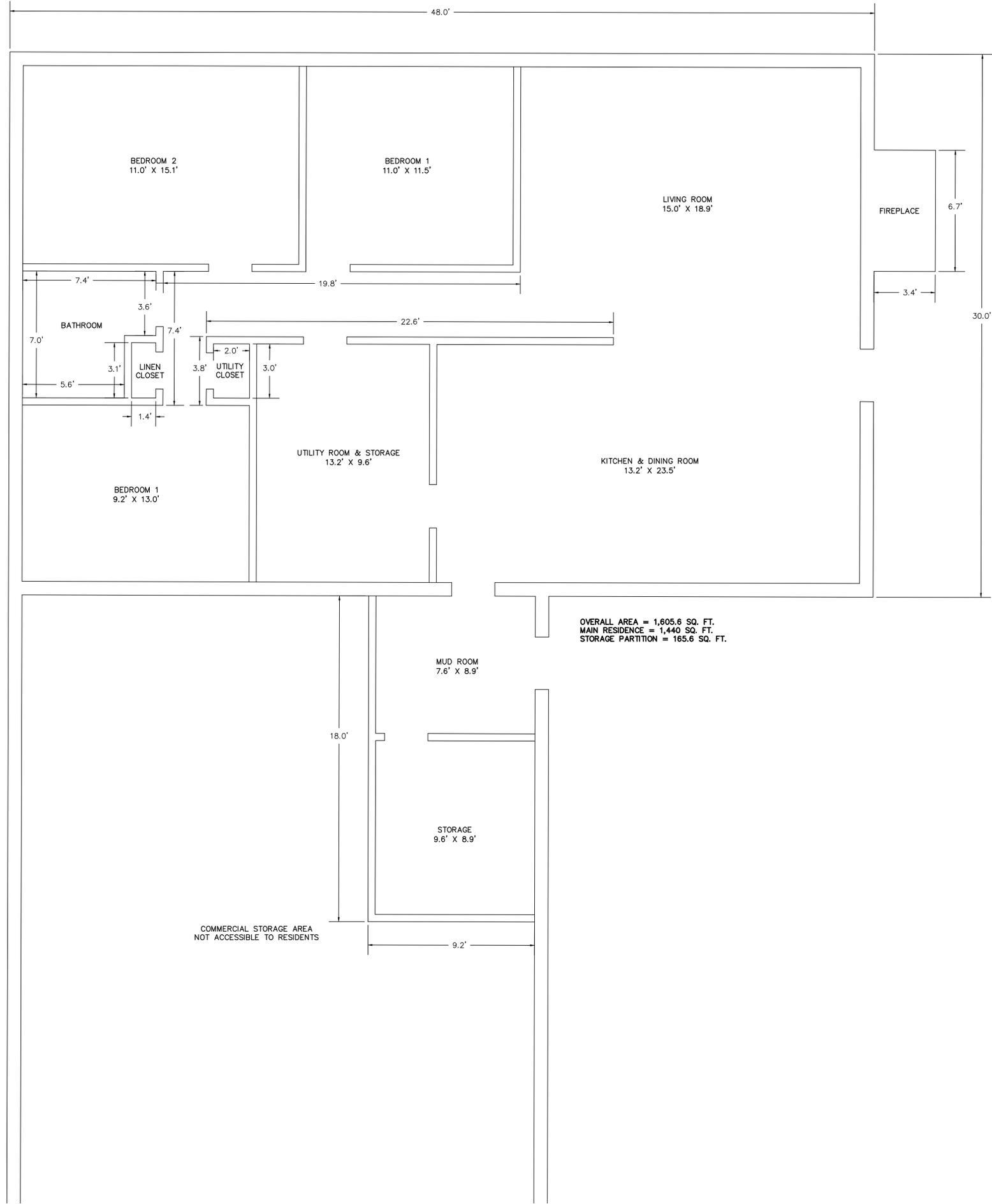
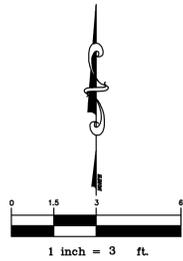
REVISIONS:
 PER UNION TOWNSHIP AND CLIENT 8-22-22

SUBMITTALS:
 PRELIMINARY SUBMITTAL TO UNION TWP. 6-28-22
 SUBMITTAL TO UNION TOWNSHIP 8-24-22
 SUBMITTAL TO UNION TOWNSHIP PLANNING 1-31-23

JOB NUMBER:
2108-132
 DRAWN BY:
CDS
 DESIGNED BY:
TELB
 CHECKED BY:
TELB

SCALE
1" = 20'
 SHEET NUMBER
3 OF 8

2257 E. BROOMFIELD ROAD
 MT. PLEASANT, MICHIGAN 48858
 PHONE: (989) 775-0756
 FAX: (989) 775-5012
 EMAIL: info@cmis-d.com



OVERALL AREA = 1,605.6 SQ. FT.
 MAIN RESIDENCE = 1,440 SQ. FT.
 STORAGE PARTITION = 165.6 SQ. FT.

COMMERCIAL STORAGE AREA
 NOT ACCESSIBLE TO RESIDENTS



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 MT. PLEASANT, MICHIGAN 48858
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RESIDENTIAL FLOOR PLAN
 CLINT'S BODY SHOP
 PART OF THE NORTH 1/4 OF THE NORTH 1/2 OF THE
 SOUTHEAST 1/4, SECTION 34, T14N-R04W,
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:
 PER UNION TOWNSHIP AND CLIENT 8-22-22

SUBMITTALS:
 PRELIMINARY SUBMITTAL TO UNION TWP. 6-28-22
 SUBMITTAL TO UNION TOWNSHIP 8-24-22
 SUBMITTAL TO UNION TOWNSHIP PLANNING 1-31-23

JOB NUMBER:
 2108-132
 DRAWN BY:
 CDS
 DESIGNED BY:
 TELB
 CHECKED BY:
 TELB

SCALE:
 1" = 3'
 SHEET NUMBER:
 5 OF 8



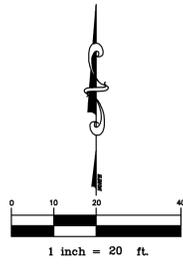
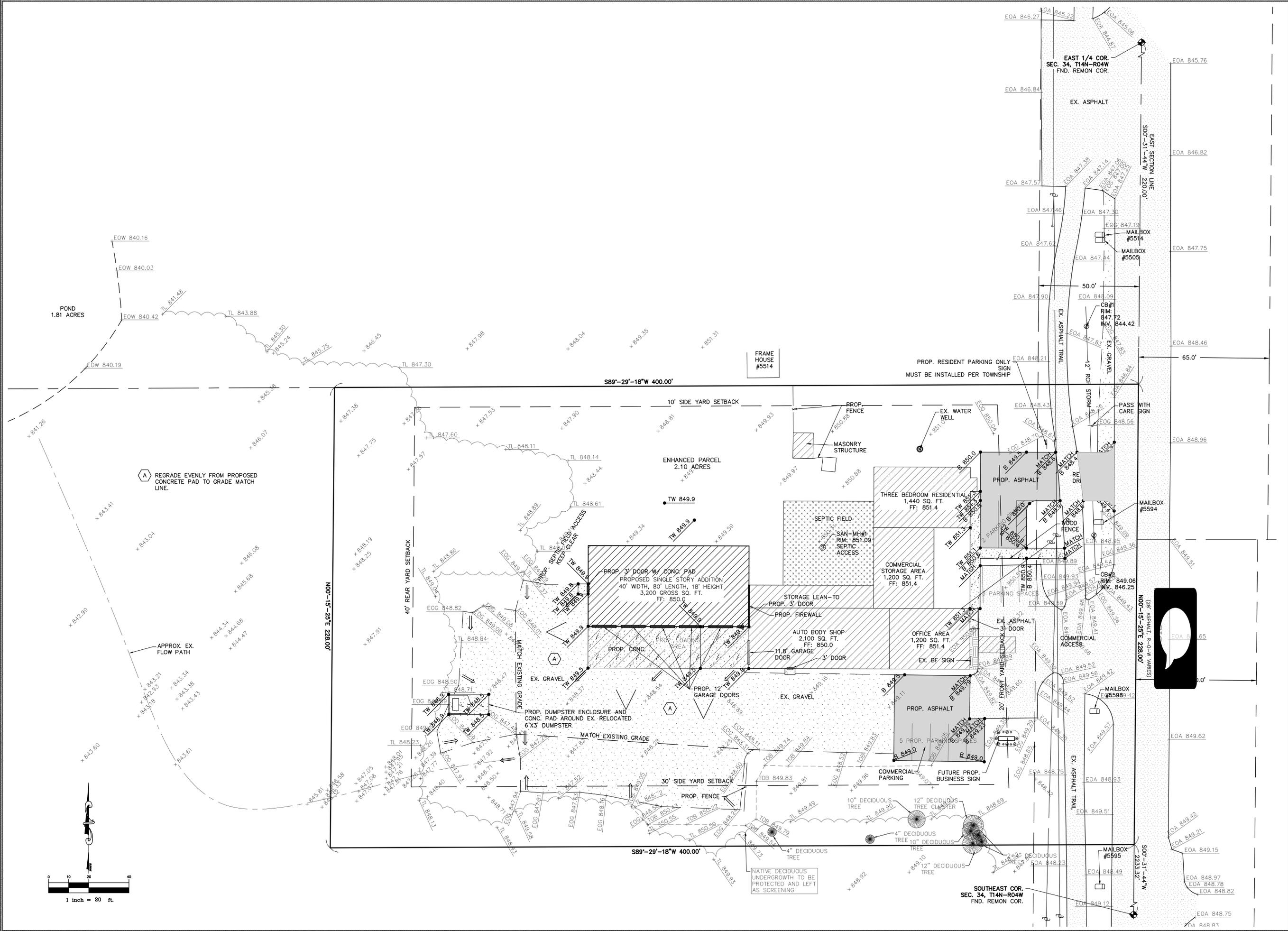
2257 E. BROOMFIELD ROAD
 MT. PLEASANT, MICHIGAN 48858
 PHONE: (989) 775-0756
 FAX: (989) 775-5012
 EMAIL: info@ccms-d.com

GENERAL SITE GRADING PLAN
CLINT'S BODY SHOP
 PART OF THE NORTH 1/4 OF THE NORTH 1/2 OF THE
 SOUTHEAST 1/4, SECTION 34, T14N-R04W,
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:
 PER UNION TOWNSHIP AND CLIENT 8-22-22

SUBMITTALS:
 PRELIMINARY SUBMITTAL TO UNION TWP. 6-28-22
 SUBMITTAL TO UNION TOWNSHIP 8-24-22
 SUBMITTAL TO UNION TOWNSHIP PLANNING 1-31-23

JOB NUMBER:	2108-132
DRAWN BY:	CDS
DESIGNED BY:	TELB
CHECKED BY:	TELB
SCALE:	1" = 20'
SHEET NUMBER:	6 OF 8



A REGRADE EVENLY FROM PROPOSED CONCRETE PAD TO GRADE MATCH LINE.

APPROX. EX. FLOW PATH

S89°-29'-18"W 400.00'

N00°-15'-25"E 228.00'

S89°-29'-18"W 400.00'

N00°-15'-25"E 228.00'

SOUTHEAST COR. SEC. 34, T14N-R04W FND. REMON COR.

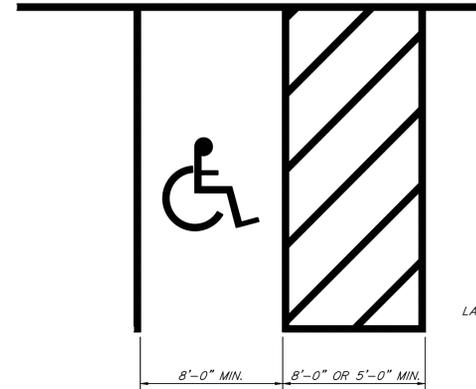
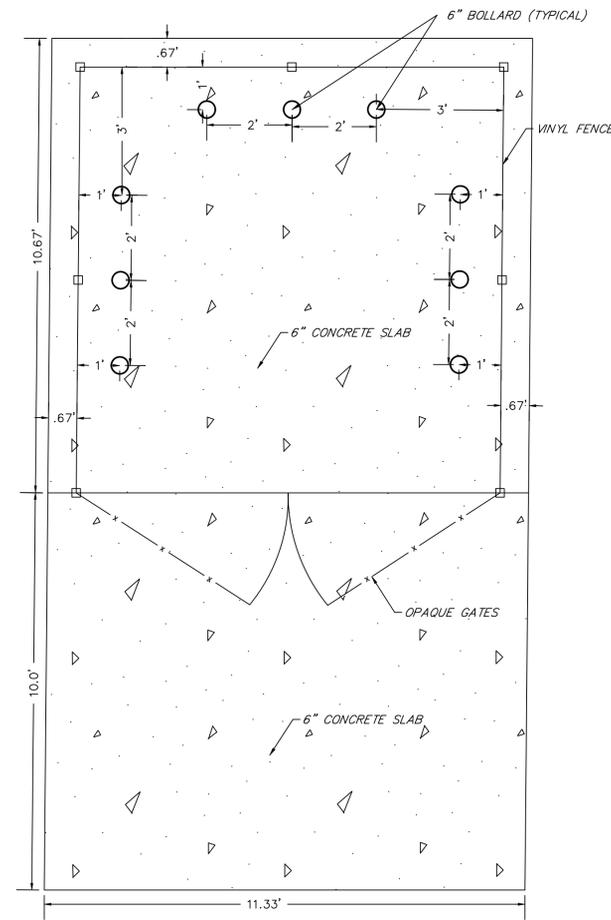
EAST 1/4 COR. SEC. 34, T14N-R04W FND. REMON COR.

EAST SECTION LINE S00°-31'-44"W 220.00'

(2x) ASPHALT, F-O-W VARIES

S00°-31'-44"W 220.00'

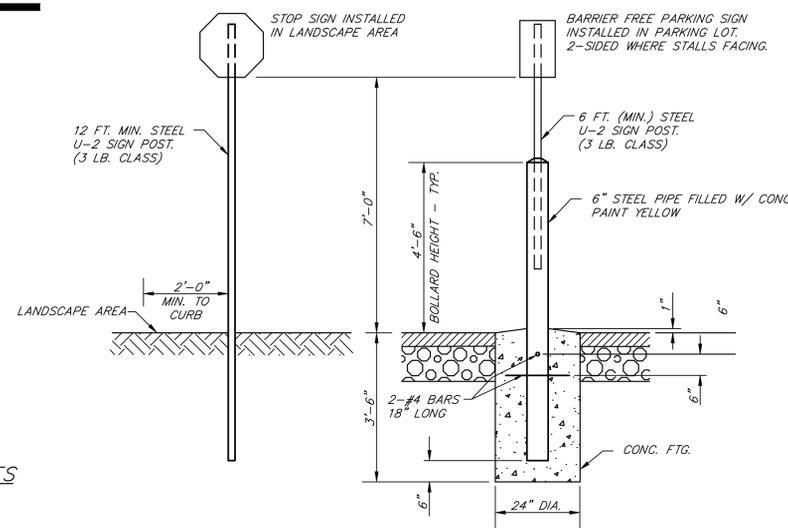
70A R4R R3



4" WIDE PAINTED STRIPES
PAINT FOR PARKING SLOTS, ARROWS,
AND ISLANDS SHALL BE MDOT
APPROVED TRAFFIC MARKING PAINT

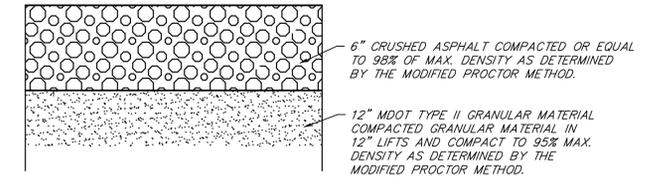
BARRIER FREE PARKING SPACES

NOT TO SCALE



PARKING LOT SIGN POST DETAILS

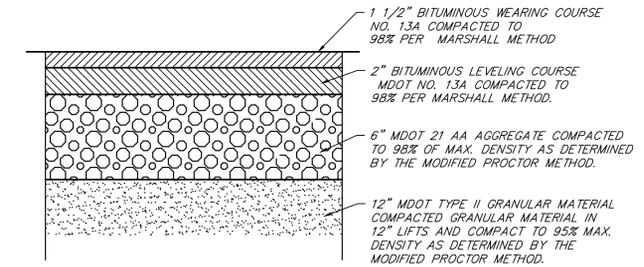
NOT TO SCALE



NOTE: COMPACTION TESTS ARE REQUIRED. RESULTS SHALL BE SUBMITTED TO OWNER PRIOR TO FINAL ACCEPTANCE OF SUB-BASE, BASE AND ASPHALT MATERIALS.

PARKING LOT GRAVEL CROSS-SECTION

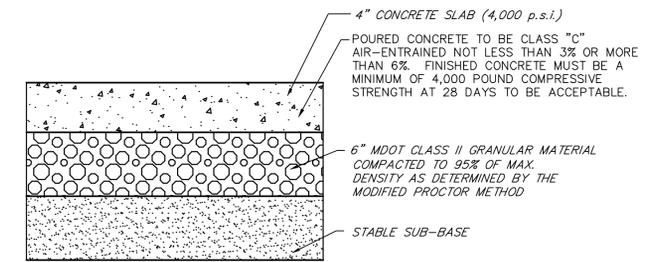
NOT TO SCALE



NOTE: COMPACTION TESTS ARE REQUIRED. RESULTS SHALL BE SUBMITTED TO OWNER PRIOR TO FINAL ACCEPTANCE OF SUB-BASE, BASE AND ASPHALT MATERIALS.

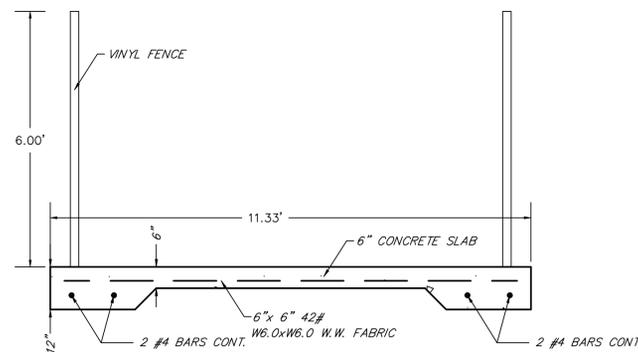
PARKING LOT ASPHALT PAVEMENT CROSS-SECTION

NOT TO SCALE



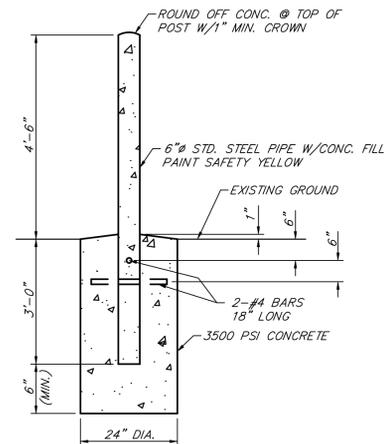
CONCRETE SIDEWALK CROSS-SECTION

NOT TO SCALE



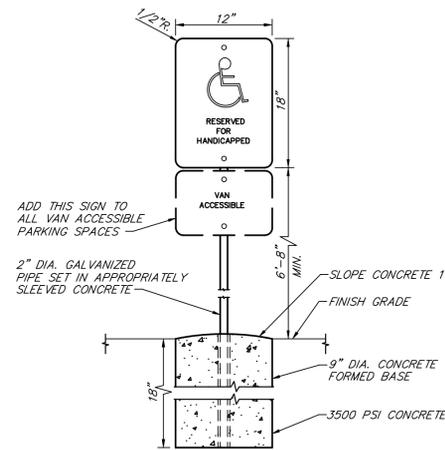
DUMPSTER DETAIL

NOT TO SCALE



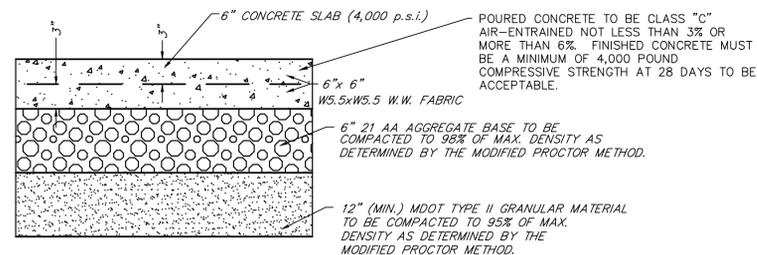
BOLLARD DETAIL

NOT TO SCALE



TYP. BARRIER FREE PARKING SIGN

NOT TO SCALE



CONCRETE PAD CROSS-SECTION

NOT TO SCALE



2257 E. BROOMFIELD ROAD
MT. PLEASANT, MICHIGAN 48858
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cmis-d.com

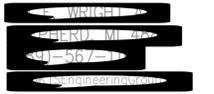
DETAILS SHEET
CLINT'S BODY SHOP
PART OF THE NORTH 1/4 OF THE NORTH 1/2 OF THE
SOUTHEAST 1/4, SECTION 34, T14N-R04W,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:
PER UNION TOWNSHIP AND CLIENT 8-22-22

SUBMITTALS:
PRELIMINARY SUBMITTAL TO UNION TWP. 6-28-22
SUBMITTAL TO UNION TOWNSHIP 8-24-22
SUBMITTAL TO UNION TOWNSHIP PLANNING 1-31-23

JOB NUMBER:
2108-132
DRAWN BY:
CDS
DESIGNED BY:
TELB
CHECKED BY:
TELB

SCALE
1" = 20'
SHEET NUMBER
8 OF 8



PROPOSED:

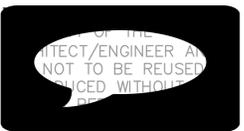
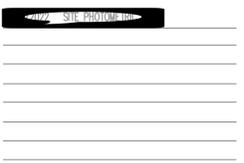


SITE ADDRESS:



SEAL:

ISSUED FOR:



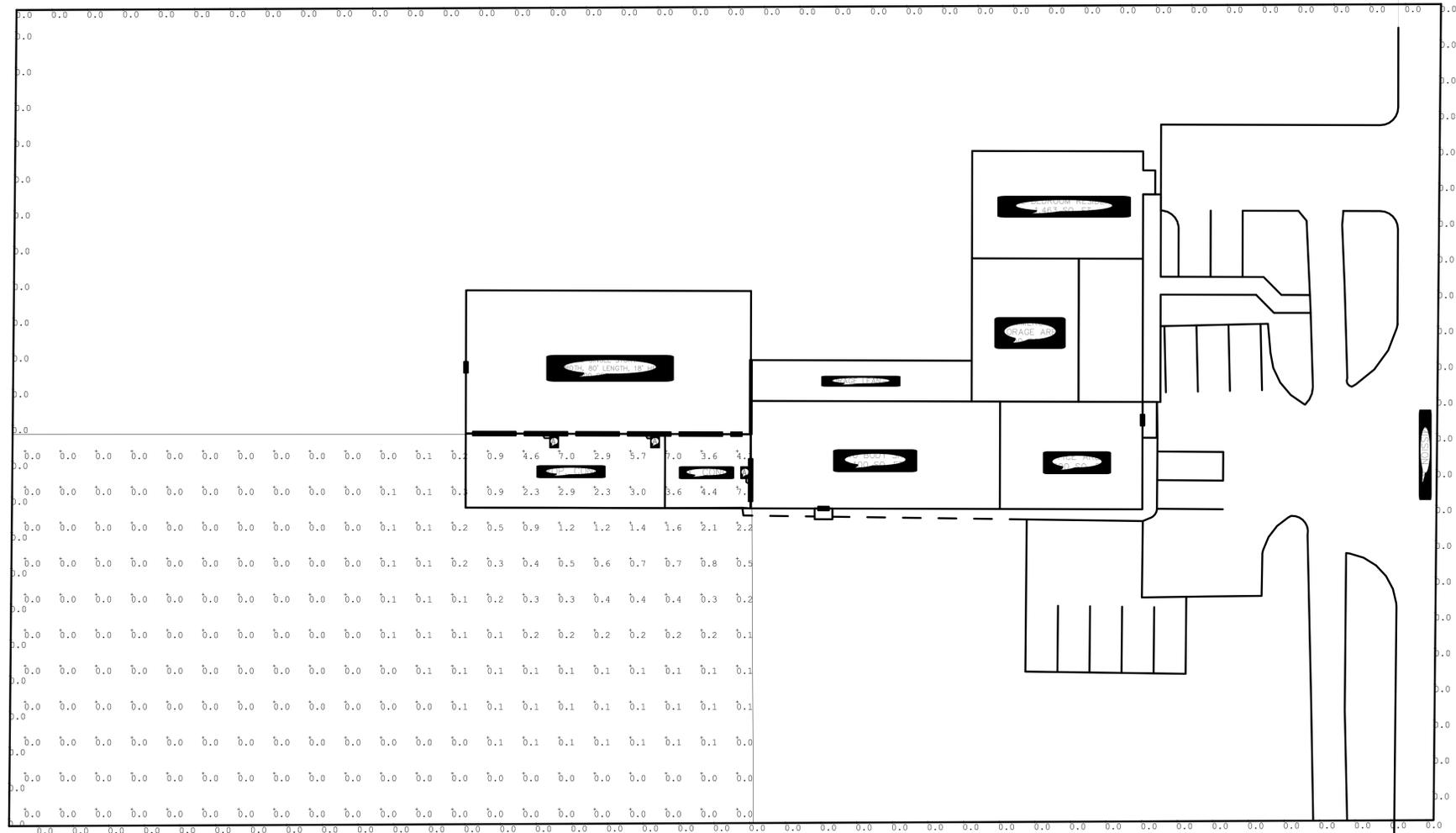
SHEET TITLE:



SHEET NUMBER:

ES1.0

JOB NUMBER:



SITE ELECTRICAL PLAN

SITE LIGHTING SCHEDULE			
☐	☐	☐	☐
☐	☐	☐	☐

C-WP-D-TR Series
 Traditional-Style LED Wall Pack with Glass Lens
 Replaces up to 400W PSMH

PACK UP THIS ONE
 Our dimmable cULus Listed Traditional-Style LED Wall Pack has a glass lens, delivers up to 23,400 lumens, is available in 4000K and 5000K, and comes with a 5-year limited warranty. It also features four 1/2" NPS tapped conduit knockouts for flexibility with mounting options.

PRODUCT SPECIFICATIONS

OVERVIEW

- Max. Delivered Lumens: Up to 23,400 Lumens
- CRI: ≥ 80 (4L, 6L, 9L & 14L), ≥ 70 (18L & 23L)
- CCT: 4000K or 5000K
- Input Power: 30W (4L), 45W (6L), 67W (9L), 106W (14L), 136W(18L), 166W (23L)
- Estimated L70 Lifetime @ 25°C: > 100,000 Hours
- Power Factor: > 0.9 at full load
- Total Harmonic Distortion: <20% at full load
- Limited Warranty: 5-Year*
- Replaces: 100W PSMH (4L), 150W PSMH (6L), 250W MH (9L), 320W PSMH (14L), 400W MH (18L), 400W PSMH (23L)

FEATURES	RECOMMENDED USE	INPUT VOLTAGE
<ul style="list-style-type: none"> Borosilicate prismatic glass lens 0-10V Dimming to 10% Extremely efficient with over 130LPW on every fixture Easy installation FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions 	<ul style="list-style-type: none"> Entryways General Area Lighting Perimeter Lighting Storage Facilities 	<ul style="list-style-type: none"> Universal (120V - 277V)

C-WP-D-TR Series

FIXTURE SPECIFICATIONS

HOUSING	Heavy-duty dark bronze die-cast aluminum
LENS ASSEMBLY	Borosilicate prismatic glass lens
MOUNTING	Four 1/2" NPS tapped conduit knockouts for flexibility with mounting options

LUMINAIRE AND ELECTRICAL PERFORMANCE

OPERATING TEMPERATURE RANGE	ESTIMATED LIFETIME @ 25°C (77°F)	POWER FACTOR	TOTAL HARMONIC DISTORTION
-40°F to 104°F (-40°C to 40°C)	> 100,000 Hours	> 0.9 at full load	<20% at full load

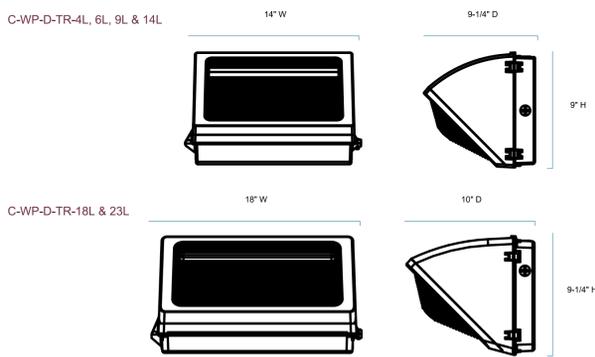
SKU	REPLACES	LUMEN OUTPUT	BUG RATINGS*	SYSTEM WATTS	CURRENT DRAW (AMPS)			
					120V	208V	240V	277V
C-WP-D-TR-4L-40K-UL-BZ	100W PSMH	4300 L	B1-U3-G3	30W	0.251	0.15	0.132	0.117
C-WP-D-TR-4L-50K-UL-BZ		4200 L						
C-WP-D-TR-6L-40K-UL-BZ	150W PSMH	6200 L	B1-U3-G4	45W	0.384	0.227	0.20	0.176
C-WP-D-TR-6L-50K-UL-BZ		6400 L						
C-WP-D-TR-9L-40K-UL-B	250W MH	9100 L	B2-U4-G3	67W	0.57	0.35	0.31	0.30
C-WP-D-TR-9L-50K-UL-BZ		9200 L						
C-WP-D-TR-14L-40K-UL-BZ	320W PSMH	14,000 L	B3-U4-G4	106W	0.89	0.53	0.46	0.42
C-WP-D-TR-14L-50K-UL-BZ		14,300 L						
C-WP-D-TR-18L-40K-UL-BZ	400W MH	18,600 L	B3-U4-G4	136W	1.20	0.67	0.59	0.52
C-WP-D-TR-18L-50K-UL-BZ		18,700 L						
C-WP-D-TR-23L-40K-UL-BZ	400W PSMH	22,600 L	B3-U5-G5	166W	1.43	0.83	0.73	0.63
C-WP-D-TR-23L-50K-UL-BZ		23,400 L						

* For more information on the IES BUG (Backlight-Up/Right-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt.

C-WP-D-TR Series

ORDERING INFORMATION
 Example SKU: C-WP-D-TR-4L-40K-UL-BZ

C-WP	D	TR	LUMEN PACKAGE			COLOR TEMP	VOLTAGE	HOUSING COLOR
C-WP	D	TR (Traditional-Style)	4L 4300 (4000K) 4200 (5000K) 30W	9L 9100 (4000K) 9200 (5000K) 67W	18L 18,600 (4000K) 18,700 (5000K) 136W	40K Neutral White (4000K) 50K Cool White (5000K)	UL Universal (120-277V)	BZ Dark Bronze

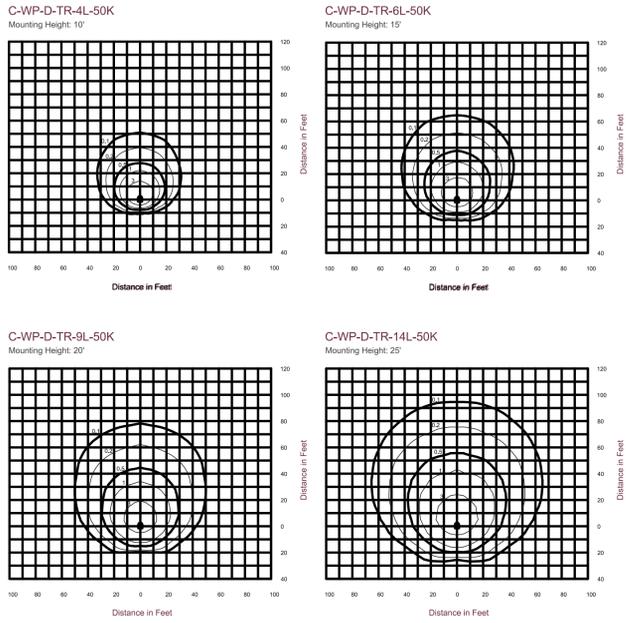


SERIES OVERVIEW

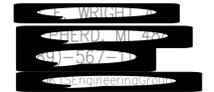
DIMENSIONS	PRODUCT WEIGHT	MOUNTING HEIGHT	SPACING
9-1/4" D x 14" W x 9" H (4L, 6L, 9L & 14L) 10" D x 18" W x 9-1/4" H (18L & 23L)	8.4 lbs. (4L), 9.08 lbs. (6L), 10.05 lbs. (9L), 10.34 lbs. (14L), 15.82 lbs. (18L), 17.4 lbs. (23L)	10 to 15 feet (4L) & 20 to 25 feet (6L, 9L, 14L, 18L, 23L)	2 to 3 times the mounting height

C-WP-D-TR Series

ISO PLOT CHARTS



Note: All published photometric testing performed to IES LM-79 standards. Fixture photometry was completed on a single representative fixture. Foot candle levels are noted inside graph.



PROPOSED:

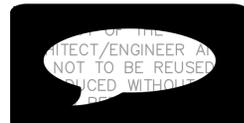


SITE ADDRESS:



SEAL:

ISSUED FOR:



SHEET TITLE:



SHEET NUMBER:

ES1.1

JOB NUMBER:



FINAL SITE PLAN REPORT

TO:	Planning Commission	DATE:	February 15, 2023
FROM:	Peter Gallinat Zoning Administrator	ZONING:	B-4, General Business District
PROJECT:	PSPR23-03 Final Site Plan approval– Clint’s Auto Body Shop Addition		
PARCEL(S):	PID 14-034-40-001-08		
OWNER(S):	Gwendalyn Oswald		
LOCATION:	Approximately 1.73 acres located at 5594 and 5598 S. Mission Road in the SE 1/4 of Section 34.		
EXISTING USE:	Major auto repair, body and paint shop; plus an existing dwelling unit. The dwelling unit is currently not being used.	ADJACENT ZONING:	B-4, AG
FUTURE LAND USE DESIGNATION: <i>Retail/Service:</i> This district is intended for the widest variety of retail and service businesses. They could range from apparel shops, auto service, and restaurants through small commercial strip centers and office buildings. This district is not intended for heavy commercial/light industrial uses like landscaping or contractor yards, heavy auto repair, or similar uses that may require some form of outside storage. Locations for this district are based on arterial road frontage and the need for high traffic volumes with convenient, well managed access.			
ACTION: To review and take action on the PSPR23-03 final site plan dated 1/31/2023 for a 3,200 square-foot addition to the existing Clint’s Auto Body Shop located at 5594 and 5598 S. Mission Road in the SE 1/4 of Section 34 and in the B-4 (General Business) District.			

Site Plan Approval Process

Per Section 14.2.C. of the Zoning Ordinance, both preliminary site plan approval and final site plan approval are required for this project. Per Section 14.2.J., approval of a preliminary site plan by the Planning Commission “shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas.” Planning Commission approval of a final site plan “constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met” (Section 14.2.L.). Documentation of applicable outside agency permits and approvals will be required as part of a final site plan application.

Background Information

The existing structure contains 2,100 square-feet of building floor area dedicated to Clint’s Auto Body Shop, and 2,400 square-feet of floor area divided equally between office space and commercial storage associated with the autobody shop. There is also a 1,463 square-foot building area dedicated for residential use. The proposed project is to add a 40-foot by 80-foot by 18-foot-high addition for an autobody shop expansion.

Nonconforming Site

Because this is a site that was originally developed many years before adoption of the current Zoning Ordinance site development standards, it is subject to the provisions of Section 12.5 (Nonconforming Sites) of the Zoning Ordinance. Under this Section, the “scope of any additional site improvements requested by the Planning Commission shall be in reasonable proportion to the scale and construction cost of proposed building improvements, expansions, or other improvements” depicted on the site plan.

This Section requires that public safety deficiencies be corrected as part of any site plan application, but also allows the applicant the option to propose “*a reasonable timeline for completion of site improvements*” on the site plan for Planning Commission consideration and approval. A proposal has been included consistent with Section 12.5 to allow for a delayed completion of certain paving improvements (see #3 below and the “Development Schedule” note on sheet 3). The proposed timeline for completion of the commercial parking lot paving work by the end of the 2023 construction season is consistent with the approved preliminary site plan. To be fully consistent with the Planning Commission’s condition of preliminary site plan approval but the following detail related to the timing of residential paving improvements will need to be addressed by the applicant on a revised final site plan:

- Revise the “Development Schedule” note on sheet 3 to confirm that paving of the residential parking area as depicted on the site plan shall be completed by the end of the 2024 construction season, rather than in 2025 as proposed.

Status of the Existing Dwelling

In addition to the existing commercial building and proposed commercial addition, the site plan shows an existing “*three-bedroom residential*” (1,463 square-foot) building space attached to the north side of the existing commercial building. A preliminary site plan application was initially submitted to the Township for review in June of 2022, but review was temporarily halted by the Community and Economic Development Director due to identification of a serious safety concern and Township Housing Licensing Ordinance violation related to the uncertified rental unit. The identified violations were subsequently addressed by the applicant, and the rental unit is now part of the Township’s rental certification program. The preliminary plan received approval from the Planning Commission in September of 2022.

According to available historical data from our Twp. Assessor, the existing residence on the premises was constructed in 1960 or 1961, which means it predates the adoption of the Township’s 1971 Zoning Ordinance and associated Official Zoning Map. Under the current B-4 (General Business) zoning district, the residence has been treated as a legal nonconforming use, which means it can remain in place as a protected (or “grandfathered”) activity and can continue to be occupied as a residence as long as the use remains otherwise in compliance with applicable Township ordinances. However, the owner is restricted from modernizing or making any alterations to the unit that would expand or extend the nonconforming residential use.

The new Zoning Ordinance No. 20-06 was adopted in September of 2020. This Ordinance includes an expanded allowance for “mixed-use buildings” in the Township’s business districts.

Section 6.24 (Mixed Use Buildings) of the Zoning Ordinance includes both provisions designed for new construction (such as the planned “Den on Broomfield” multi-story mixed-use commercial-residential building, and for cases like this one involving an existing, legal nonconforming residential use in the business districts.

Documentation of compliance with the applicable requirements of Section 6.24 through an approved final site plan and completion of necessary improvements would remove the legal nonconforming use restrictions for the residence.

Final Site Plan Review Comments

The following comments are based on the standards for preliminary site plan approval and specific elements of the proposed site plan:

1. **Section 14.2.P. (Required Site Plan Information).** With the exception of details noted elsewhere in this report that could be addressed by the applicant on the final site plan for this project, the site plan can conform to the minimum Section 14.2.P. information requirements for a preliminary site plan. **CAN CONFORM**

2. **Section 8 (Environmental Performance Standards).** The hazardous substance reporting form and EGLE permit checklist form are included in the application materials. **CONFORMS**

3. **Section 9 (Off-Street Parking, Loading Requirements).** The parking layout has been provided for both the industrial and office uses of the proposed buildings. The calculations are correct, and the parking proposed exceeds the minimum requirement. A 20.7-foot by 55.9-foot concrete apron is depicted in the rear yard adjacent to the south side of the proposed addition that is sufficient in size for a loading area per Section 9.5.B and has been labeled as such.

Parking areas for the commercial use and residential use are both proposed to be paved with asphalt. The plan notes a “Development Schedule” timeline on sheet 3 for when both will be completed, with the commercial paving to be completed by the end of the 2023 construction season and the residential paving by the same in 2025. Staff has no objection to the proposed timing of the commercial area paving, but for purposes of tracking and timely resolution would recommend that the Planning Commission require that the residential parking be completed by the end of the 2024 construction season.
CAN CONFORM

4. **Section 7.5 (Accessory Uses, Buildings, and Structures).** A shipping container was shown at a location west of the proposed addition on the preliminary plan. Unfortunately, there is not allowance under the current (or prior) Zoning Ordinance for a shipping container to be used as a permanent storage building on the site. A note has been added on sheet 2 that the shipping container will be removed as part of the demolition plan. **CONFORMS**

5. **Section 7.10 (Sidewalks and Pathways).** Due to the location of an existing pathway along S. Mission Road no sidewalk will be required along the public road. The applicant has

added internal sidewalks five-feet in width that connects the pathway to the business and the residential dwelling, which are consistent with Township ordinance standards.
CONFORMS

6. **Section 7.14 (Trash Removal and Collection).** A dumpster is located in the rear of the building. The dumpster meets the requirements for location and concrete pad. The screening proposed is a vinyl fence, which is consistent with the very recently adopted amendment to Section 7.14 (which previously allowed only masonry wall or wood fencing enclosures). Details are found on sheet 7. It is noted on sheet 3 of 8 that recycling bins are used inside the shop for metal and cardboard. This will continue with the expansion.
CONFORMS

7. **Section 6.24 (Mixed-Use Buildings).** The project shows an attached three-bedroom 1,463 square foot residential unit to the commercial building. All the buildings are attached and a single story in height. Typically, mixed-use buildings are two-stories in height with business on the first floor and residential on the second floor. However, Section 6.24.G. (Legal Nonconforming Structures) includes an allowance for a residential use on the first floor of a single-story mixed-use building. Sheet 5 demonstrates a floor plan that shows adequate sleeping, kitchen, bathroom, living, and household storage space to accommodate the maximum allowable unit occupancy. The floor plan demonstrates separate access to the residential unit without the occupant needing to enter through the business to access the residential dwelling. Two parking spots have been reserved on the plan for residential occupants. With the exception of the delay in completion of the residential parking area paving (see #3 above), site plan details for the residence are generally consistent with Zoning Ordinance standards for a mixed-use building.
CONFORMS

8. **Section 10 (Landscaping and Screening).** The landscaping plan (sheet 4) proposes to utilize existing trees to the west and south as part of the screening, along with adding deciduous tree, ornamental trees and shrubs to improve this nonconforming site. The number of new plantings is fully consistent with applicable Zoning Ordinance requirements by type of plant material. The plan also notes trees will be from a pre-approved list, but some specifications are missing. The following landscaping details will need to be added to a revised final site plan:

- Add the specific species of trees and shrubs as notes on the landscape plan.

9. **Section 8.2 (Exterior Lighting).** Exterior lighting details and photometric plan sheet will need to be included with the final site plan. Illumination is not permitted to exceed 10 foot-candles. New lighting needs to be down-shielded and no light pole erected may exceed 22-feet in height from grade level to the top of the light fixture. Any existing lighting that will not be disturbed due to new construction can remain in place. However, all new or altered/relocated lighting must conform to Section 8.2 (Exterior Lighting).

Lighting details are shown on sheets ES1.0 and ES1.1. The photometric plan demonstrates that all lighting is under the maximum allowed 10-foot candles of illumination. However,

the three (3) proposed wall pack lights located on the addition are not fully shielded and do not direct light completely downward as required per Section 8.2 standards. The following lighting detail will need to be added to a revised final site plan:

- ❑ Replace the three (3) proposed wall pack lights located on the addition with a new type of wall pack light that is fully shielded and directs light downward.

10. **Outside agency approvals.** The applicant is responsible for obtaining all necessary permits or approvals from applicable outside agencies prior to submittal of the final site plan application for approval. Outside agency approval has been obtained from the Mt. Pleasant Fire Department, Isabella County Drain Office for Storm Water Management, Isabella County Transportation Commission, and Township Public Services. The Isabella County Road Commission is not required due to no work being done in the right-of-way. **CONFORMS**

Objective

The Planning Commission shall review the application materials and site plan, together with any reports and recommendations. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to approve the site plan, to approve the site plan with conditions, to deny the site plan application, or to postpone further consideration of the site plan to a date certain in accordance with Section 14.2.H. of the Zoning Ordinance.

Key Findings

- There is a minor housekeeping item on the plan regarding plant species that can be administratively approved.
- The proposed wall pack fixtures on the addition do not conform to Section 8.2 standards.
- A deadline of 2024 instead of 2025 for residential paving would be a more reasonable timeline for township staff to enforce, and would be consistent with the preliminary approval.
- Provided that the applicant can correct these details, the final site plan can conform to Section 14.2.P. (Required Site Plan Information) and Section 14.2.S. (Standards for Site Plan Approval).

Recommendations

Based on the above findings, I recommend approval of the PSPR23-03 final site plan application, subject to submittal of an updated final site plan set for Zoning Administrator review and acceptance that includes replacement of the three (3) proposed wall-pack light fixtures, addition of the required notes for specific plant species, and a revised 2024 deadline for residential paving improvements.

Please contact me at (989) 772-4600 ext. 241, or via email at pgallinat@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Peter Gallinat – Zoning Administrator

Draft Motions: PSPR 23-03 Final Site Plan Application for Clint’s Auto Body Shop Addition, 5594 & 5598 S. Mission Road

MOTION TO APPROVE THE FINAL SITE PLAN:

Motion by _____, supported by _____, to approve the PSPR 23-03 final site plan dated January 31, 2023 for a 3,200 square-foot addition to the existing Clint’s Auto Body Shop located at 5594 and 5598 S. Mission Road in the southeast quarter of Section 34 and in the B-4 (General Business) zoning district, finding that it fully complies with applicable Zoning Ordinance requirements for final site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval).

MOTION TO APPROVE THE FINAL SITE PLAN WITH CONDITIONS:

Motion by _____, supported by _____, to approve the PSPR 23-03 final site plan dated January 31, 2023 for a 3,200 square-foot addition to the existing Clint’s Auto Body Shop located at 5594 and 5598 S. Mission Road in the southeast quarter of Section 34 and in the B-4 (General Business) zoning district, finding that it can fully comply with applicable Zoning Ordinance requirements for final site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), subject to the following conditions:

1. Revise the “Development Schedule” note on sheet 3 to confirm that paving of the residential parking area as depicted on the site plan shall be completed by the end of the 2024 construction season.
2. Add the specific species of trees and shrubs to the landscape plan.
3. Correct the three (3) proposed wall-pack light fixtures to be fully shielded and directed downward per Section 8.2 standards.
4. Zoning Administrator review and acceptance of the revised final site plan prior to issuance of a building permit for this project.

MOTION TO POSTPONE ACTION ON THE FINAL SITE PLAN:

Motion by _____, supported by _____, to postpone action on the PSPR 23-03 final site plan dated January 31, 2023 for a 3,200 square-foot addition to the existing Clint’s Auto Body Shop located at 5594 and 5598 S. Mission Road until _____, 2023 for the following reasons:

Draft Motions: PSPR 23-03 Final Site Plan Application for Clint’s Auto Body Shop Addition, 5594 & 5598 S. Mission Road

MOTION TO DENY THE FINAL SITE PLAN:

Motion by _____, supported by _____, to deny the PSPR 23-03 final site plan dated January 31, 2023 for a 3,200 square-foot addition to the existing Clint’s Auto Body Shop located at 5594 and 5598 S. Mission Road in the southeast quarter of Section 34 and in the B-4 (General Business) zoning district, finding that it does not comply with applicable Zoning Ordinance requirements for final site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), for the following reasons:

Charter Township of Union

APPLICATION FOR SITE PLAN REVIEW

Minor Site Plan Preliminary Site Plan Final Site Plan

A Completed Application will contain all the information required per the Zoning Ordinance, Section 14.2 (Site Plan Review).

Name of Proposed Development/Project _____		PROPOSED BUILDING ADDITION
Common Description of Property & Address (if issued) _____		5165 E. REMUS ROAD, MT. PLEASANT, MI
Applicant's Name(s) _____		THE CULTURAL AND RECREATION COMMISSION OF ISABELLA COUNTY
Phone/Fax numbers _____	989-772-9623	Email _____
Address _____		5165 E. REMUS City: MT. PLEASANT Zip: 48858

Legal Description: _____	Attached <input type="checkbox"/>	Included on Site Plan <input checked="" type="checkbox"/>	Tax Parcel ID Number(s): _____	14-013-30-003-00
Existing Zoning: _____	B-4	Land Acreage: _____	15.49	Existing Use(s): _____
RECREATION CENTER				
<input checked="" type="checkbox"/> ATTACHED: Letter describing the project and how it conforms to Section 14.2.S. (Standards for Site Plan Approval)				

SEE SHEET 4 OF PLAN SET

Firm(s) or Individuals(s) who prepared site plan(s)	1. Name: _____	CENTRAL MI SURVEYING & DEV CO. INC.	Phone: _____	989-775-0756	Email _____	tbebee@cms-d.com	
	2. Address: _____	2257 E. BROOMFIELD ROAD					
City: _____		MT. PLEASANT	State: _____	MI MI	Zip: _____	48858	
Contact Person: _____		TIMOTHY BEBEE	Phone _____	989-775-0756			
Legal Owner(s) of Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name: _____	THE CULTURAL AND RECREATION COMMISSION OF ISABELLA COUNTY	Phone: _____	989-772-9623			
	Address: _____	5165 E. REMUS ROAD					
	City: _____		MT. PLEASANT	State: _____	MI MI	Zip: _____	48858
	Signature: _____		Interest in Property: _____	owner/lessee/other			
	2. Name: _____		Phone: _____				
	Address: _____		City: _____	State: _____	MI	Zip: _____	
Signature: _____		Interest in Property: _____	owner/lessee/other				

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and/or removal of work installed. Approval of this plan shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.


1-27-2023

 Signature of Applicant Date

Office Use Only

Application Received By: _____ Fee Paid: \$ _____

Date Received: _____ Escrow Deposit Paid: \$ _____

Preliminary Site Plan Review Procedure

Each preliminary site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

Effect of Preliminary Site Plan Approval

Approval of a preliminary site plan by the Planning Commission shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas in accordance with the standards for preliminary site plan approval specified in subsection 14.2(S). The Planning Commission may, at its discretion and with appropriate conditions attached, authorize limited work to begin for soils exploration, incidental site clearing, and other preliminary site work as specified in the authorization.

Outside Agency Approvals

The applicant shall be responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval.

Final Site Plan Review Procedure

Each final site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

Effect of Final Site Plan Approval

Approval of a final site plan by the Planning Commission constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met.

Minor Site Plan Review Procedure

A minor site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee, and two (2) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and site plans, at a maximum sheet size of 11 inches by 17 inches, at the Township Hall. The Zoning Administrator shall review the application materials and site plan for completeness, accuracy, and compliance with all applicable requirements and standards of this Ordinance and other Township ordinances.

The minor site plan shall be approved by the Zoning Administrator upon determination that all required information for the type of site plan has been provided per subsection 14.2(P), the site plan satisfies the applicable standards for site plan approval per subsection 14.2(S); and the site plan conforms to all other applicable requirements and standards of this Ordinance and other Township ordinances.

CHARTER TOWNSHIP OF UNION

SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: The Cultural and Recreation Commission of Isabella County

Name of business owner(s): Erik Spindler - Representative

Street and mailing address: 5165 E. Remus Road
Mt. Pleasant, MI 48858

Telephone: _____

Fax: 989-772-9623

Email: erik.spindler@themoreyfoundation.org

I affirm that the information submitted is accurate.

Owner(s) signature and date:


1-27-2023

Information compiled by:

Joe Claybaugh - JBS Contracting, Inc.

Part 1: Management of Hazardous Substances and Polluting Materials

1. Y **N** Will the proposed facility store, use or generate hazardous substances or polluting materials (including petroleum-based products) now or in the future? **If yes**, please complete this form and submit with your site plan. A catalogue and map of natural resources on and near the site, including an assessment of groundwater vulnerability is required to be submitted with your plan.
2. Y **N** Will the hazardous substances or polluting materials be reused or recycle on-site?
3. Y **N** Will any hazardous substances or polluting materials be stored on-site? **If yes**, identify the storage location on the site plan. Describe the size and type of secondary containment structure here or on an attached page. Submit a map and/or diagram of facilities on the site related to groundwater protection, including secondary containment structures, loading/unloading areas, drinking water wells, septic systems, underground storage tanks and storm drain inlets.
4. Y **N** Will the new underground storage tanks be located less than 2000 feet from a drinking water well serving more than a single household?
5. Y **N** Are existing underground storage tanks on-site less than 200 feet from a drinking water well serving more than a single household?

If the answer to questions 4 or 5 are yes, you may be in violation of the State of Michigan underground storage tank regulations . For specific requirements, please contact the MDEQ Underground Storage Tank Division. District Office Telephone: 989-894-6200 (Saginaw Bay District Office)

6. Y **N** Will the interior of the facility have general purpose floor drains? (general purpose floor drains should not be connected to a sanitary sewer system, stormwater drainage system, dry well or septic system). If yes, will the floor drain connect to: (circle one)

- a. on-site holding tank
- b. on-site system

The on-site system must be approved by the MDEQ.
Contact: MDEQ Waste Management Division.
District Office telephone: 989-894-6200 (Saginaw Bay District Office)

7. Y **N** Will hazardous substances or polluting materials be stored, used, or handled out-of doors near storm drains which discharge to lakes, streams, or wetlands? If yes, describe the type of catch basin or spill containment facilities which will be used (use an attached sheet with diagram if appropriate).

cc: Charter Township of Union Department of Public Works

PERMIT INFORMATION CHECKLIST FOR FINAL SITE PLANS

Michigan.gov/EGLEpermits

The Michigan Department of Environment, Great Lakes, and Energy (EGLE) has prepared a list of key questions to help identify what EGLE permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from EGLE, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: Michigan.gov/EHSguide. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the EGLE programs noted below. [insertions and edits by Union Township]

How Do I Know that I Need a State of Michigan, County or Local Permit or Approval?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
1) Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)? Air Quality Permit to Install, Air Quality Division (AQD), Permit Section	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
2) Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos. Asbestos Notification, AQD, Asbestos Program , 517-284-6777	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
3) Please consult the Permitting at the Land and Water Interface Decision Tree document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?). Land and Water Featured Programs (Water Resources Division - WRD) - Joint Permit Application , 517-284-5567:		
a. Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
b. Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
c. Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
d. Does the project involve construction of a dam, weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
4) Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction) or does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? Union Township and Isabella County	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
5) Does the project involve the construction or alteration of a water supply system system? Union Township Public Services Department and Drinking Water & Environmental Health Division (DWEHD), 517-284-6524	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
6) Does the project involve construction or alteration of any sewage collection or treatment facility? Union Township Public Services Department and WRD, Part 41 Construction Permit Program (staff) , 906-228-4527, or EGLE District Office	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
7) Public Swimming Pool Construction (Spas/Hot Tubs) Permits: Will your business involve the construction or modification of a public swimming pool, spa or hot tub? Union Township and Public Swimming Pool Program , 517-284-6541, or EGLE District Office	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
8) Does the project involve the construction or modification of a campground? Union Township and DWEHD, Campgrounds program , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

9) Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground? Materials Management Division (MMD), Solid Waste , 517-284-6588, or EGLE District Office	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
10) Does the project involve the construction of an on-site treatment, storage, or disposal facility for hazardous waste? MMD, Hazardous Waste Section, Treatment, Storage and Disposal , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Who Regulates My Drinking (Potable) Water Supply?		
11) I am buying water from the municipal water supply system Contact the Union Township Public Services Dept.	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
12) I have a Non-Community Water Supply (Type II) Guide , Contact (District or County) Local Health Department , 517-485-0660	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
13) I am a community water supply (Type I) Community Water Supply, DWEHD District Office Community Water Supply Program , 517-284-6512	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
14) Do you desire to develop a withdrawal of over 2,000,000 gallons of water per day from any source including groundwater, inland surface water, or the Great Lakes and their connecting waterways? WRD, Great Lakes Shorelands Unit, Water Use Program, 517-284-5563	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Who Regulates My Wastewater Discharge System?		
15) NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water? WRD, EGLE District Office , or National Pollutant Discharge Elimination (NPDES) Permit Program , 517-284-5568	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
16) Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? WRD, Permits Section , or EGLE District Office , 517-284-5588	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
17) Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)? WRD, Groundwater Permits Program , 517-290-2570	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
18) Does the project involve the drilling or deepening of wells for waste disposal? Oil, Gas and Minerals Division (OGMD), 517-284-6841	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Operational Permits Are Relevant to My Operation and Air Emissions?		
19) Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants? AQD, Permit Section , 517-284-6634	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
20) Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel? AQD, Acid Rain Permit Program , 517-780-7843	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Operational Permits Are Relevant to My Waste Management?		
21) Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground? MMD , 517-284-6588 or EGLE District Office	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
22) Does the project involve the on-site treatment, storage, or disposal of hazardous waste? MMD, Hazardous and Liquid Waste , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
23) Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (Hazardous Waste Program Forms & License Applications) MMD, EGLE District Office , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

24) Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form? MMD, Radioactive Material and Standards Unit , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
25) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD, Radioactive Material and Standards Unit , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
26) Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal? MMD, Medical Waste Regulatory Program , 517-284-6594	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Sector-Specific Permits May be Relevant to My Business?		
Transporters	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
27) Does the project involve the <i>transport</i> of some other facility's non-hazardous liquid waste? MMD, Transporter Program , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
28) Does the project involve the <i>transport</i> of hazardous waste? MMD, Transporter Program , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
29) Do you engage in the business of transporting bulk water for drinking or household purposes (except for your own household use)? DWEHD, Water Hauler Information , 517-284-6527	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
30) Does the project involve <i>transport</i> of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground? DWEHD, Septage Program , 517-284-6535	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
31) Do you store, haul, shred or process <i>scrap tires</i> ? MMD, Scrap Tire Program , 517-284-6586	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Sectors		
32) Is the project a <i>dry cleaning</i> establishment utilizing perchloroethylene or a flammable solvent in the cleaning process? AQD, Dry Cleaning Program , 517-284-6780	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
33) Does your <i>laboratory</i> test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act? Laboratory Services Certifications , 517-284-5424	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
34) Does the project involve the operation of a <i>public swimming pool</i> ? DWEHD, Public Swimming Pools Program , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
35) Does the project involve the operation of a <i>campground</i> ? Union Township and DWEHD, Campgrounds , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Permits Do I Need to Add Chemicals to Lakes and Streams?		
36) Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc.) in a water body (i.e. lake, pond or river)? WRD, Aquatic Nuisance Control , 517-284-5593	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
37) Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? WRD, Surface Water Assessment Section , 517-331-5228	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

Why would I be subject to Oil, Gas and Mineral Permitting?		
38) Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)? OGMD, Petroleum Geology and Production Unit , 517-284-6826	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
39) Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline? OGMD, Minerals and Mapping Unit, Sand Dune Mining Program , 517-284-6826	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
40) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD, Radioactive Protection Programs , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Petroleum & Mining , OGMD, 517-284-6826		
41) Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
42) Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
43) Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
44) Does the project involve mining coal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
45) Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
46) Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

Contact **Union Township** and [EGLE Permits & Bonding](#), OGMD, 517-284-6841

PROPOSED BUILDING ADDITION

5165 E. REMUS ROAD, MT. PLEASANT, MICHIGAN

SECTION 12.5 NONCONFORMING SITES:

- ITEM C. THE PROPOSED SITE IMPROVEMENTS SHALL INCLUDE AT LEAST THREE (3) OF THE FOLLOWING, AS ACCEPTED BY THE PLANNING COMMISSION:
1. PRESERVATION OF NATURAL RESOURCES OF HISTORICAL SITE FEATURES.
 2. PEDESTRIAN ACCESS IMPROVEMENTS.
 3. VEHICULAR ACCESS AND CIRCULATION IMPROVEMENTS.
 4. BUILDING DESIGN OR EXTERIOR FACADE IMPROVEMENTS.
 5. OFF-STREET PARKING OR LOADING IMPROVEMENTS.
 6. LANDSCAPING IMPROVEMENTS.
 7. SCREENING AND BUFFERING IMPROVEMENTS.
 8. EXTERIOR LIGHTING IMPROVEMENTS.
 9. DRAINAGE AND STORMWATER MANAGEMENT IMPROVEMENTS.
 10. CLEAN UP OR RESTORATION OF BLIGHTED SITE, REMOVAL OF CONTAMINATED SOIL, OR SIMILAR ENVIRONMENTAL IMPROVEMENTS.

ITEMS OF IMPROVEMENT FOR CONSIDERATION:

2. THE BUILDING ADDITION IS PROPOSED AT THE SOUTHEASTERN CORNER OF THE EXISTING STRUCTURE. THERE IS A PROPOSED SIDEWALK FROM THE NEW ADDITION HEADING WEST TO CONNECT WITH THE EXISTING SIDEWALKS ALONG THE WEST FRONT OF THE EXISTING COMPLEX. ADDITIONALLY, A PUBLIC SIDEWALK WILL BE ADDED ALONG THE REMUS ROAD FRONTAGE WITH A CONNECTING WALKWAY TO THE NEW ADDITION AND EXISTING COMPLEX. IN ALL APPROXIMATELY 1,400 LF OF SIDEWALK AND WALKWAY IMPROVEMENTS.
3. CURRENTLY THE SITE HAS A MAIN ACCESS ROAD THAT ALL TRAFFIC, CARS AND BUSES UTILIZE. THERE WILL BE A GRAVEL FIRE LANE ACCESS AT THE SOUTHEAST CORNER OF THE SITE THAT WILL ALSO BE SIGNED AS THE BUS ACCESS IN AN EFFORT TO SEPARATE THIS TRAFFIC.
5. CURRENTLY THERE ARE NO DESIGNATED AREAS FOR BUS PARKING INTERNAL TO THE SITE. THE PARKING LOT EXPANSION PROVIDE 10 SPACES FOR BUS PARKING. THESE AREAS WILL ALSO BE DESIGNATED FOR LOADING AND UNLOADING.
6. THE SITE WAS CONSTRUCTED PRIOR TO LANDSCAPING REQUIREMENTS. THERE IS APPROXIMATELY 187 LF OF REMUS ROAD FRONTAGE THAT WILL HAVE NEW PARKING LOT AND FACE THE NEW ADDITION. BASED ON SECTION 10.2 AND THE LANDSCAPING SUMMARY TABLE, THERE WOULD NEED TO BE 187 LF/40 LF = 4.7 OR 5 STREET TREES AND 187 LF/100 LF = 1.9 OR 2 ORNAMENTAL TREES AND 187 LF/40 LF = 4.7 * 8 = 37.6 OR 37 SHRUBS. ADDITIONALLY, FOR PARKING LOTS THE REQUIREMENT IS (1) TREE FOR EVERY 5 SPACES. THE EXISTING PARKING COUNT IS 595 SPACES. THE PROPOSED PARKING COUNT IS 592 SPACES. THERE IS A REDUCTION IN PARKING OF 3 SPACES AND THUS NO LANDSCAPING IS REQUIRED.
9. THE CURRENT STORMWATER DETENTION AREAS ON THE SITE REQUIRE MAINTENANCE AND AS PART OF THIS PLAN SET, THE PROPOSED INITIAL MAINTENANCE AND CONTINUED MAINTENANCE WILL BE ADDRESS.

MISS DIG:

FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL "MISS DIG" 1-800-482-7171 A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY EXCAVATION. ALL "MISS DIG" PARTICIPATING MEMBERS WILL BE APPROPRIATELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

UTILITY NOTE:

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY COMPANY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE LOCATION AND DEPTH OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-282-7171) PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL MAKE EVERY EFFORT TO PROTECT AND OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND. UNDERGROUND SERVICE LEADS FOR GAS, ELECTRIC, TELEPHONE AND CABLE MAY BE ACROSS PROPERTY, NO INFORMATION AVAILABLE PLEASE CALL MISS DIG.

B-4 - GENERAL BUSINESS DISTRICT

MINIMUM FRONT YARD SETBACK	20 FT
MINIMUM SIDE YARD SETBACK	10 FT (J)
MINIMUM REAR YARD SETBACK	20 FT (J)
MINIMUM LOT FRONTAGE	80 FT
MINIMUM LOT AREA (SQ FT)	12,000 SQ FT
MAXIMUM BUILDING HEIGHT	35 FT
MAXIMUM LOT COVERAGE (%)	50%

- J. AN ADDITIONAL 20.0 FEET OF SIDE AND REAR YARD SETBACK SHALL BE PROVIDED WHEN ABUTTING THE AG (AGRICULTURAL) DISTRICT, ANY RESIDENTIAL DISTRICT, OR AN EXISTING AGRICULTURAL OR RESIDENTIAL USE.

LEGEND

SYMBOLS

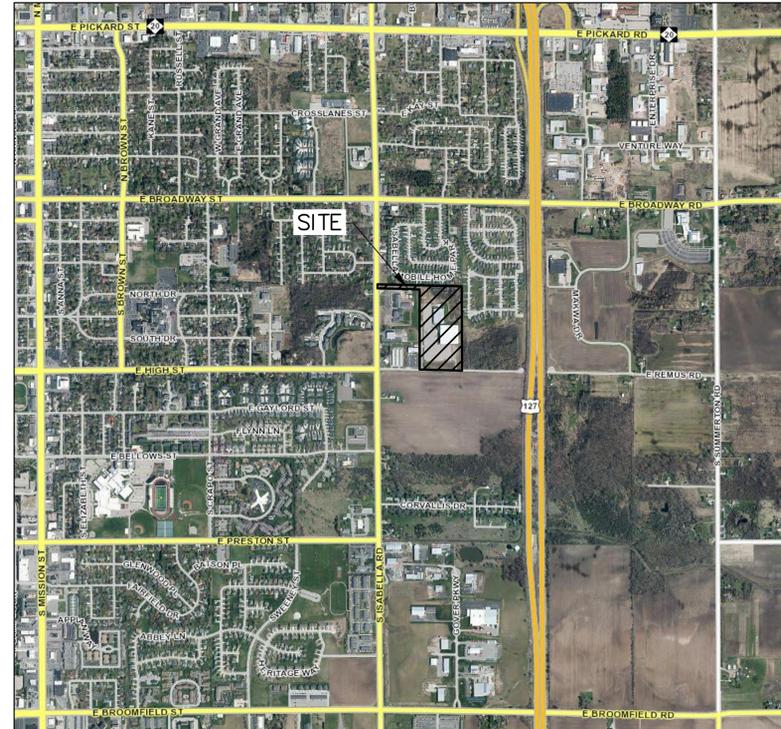
○ BOLLARD	☒ GAS RISER	⊙ SOIL BORING
☐ CATCH BASIN (CURB INLET)	⊙ GUY ANCHOR	⊙ STORM SEWER MANHOLE
⊙ CATCH BASIN (ROUND)	⊙ HYDRANT - EXISTING	⊙ TELEPHONE RISER
⊙ CATCH BASIN (SQUARE)	⊙ HYDRANT - PROPOSED	⊙ TREE - CONIFEROUS
⊙ CLEAN OUT	⊙ LIGHT POLE	⊙ TREE - DECIDUOUS
→ DRAINAGE FLOW	⊙ MAILBOX	⊙ UTILITY POLE
⊙ ELECTRICAL BOX	⊙ MONITORING WELL	⊙ WATER MAIN VALVE
⊙ FOUND CONC. MONUMENT	⊙ SANITARY SEWER MANHOLE	⊙ WATER SHUT-OFF
⊙ FOUND IRON	⊙ SET IRON	⊙ WATER WELL
⊙ GAS MAIN VALVE	⊙ SIGN	⊙ WOOD STAKE

LINETYPES

—ELEC—	BURIED ELECTRICAL CABLE
—PHONE—	BURIED TELEPHONE CABLE
—DITCH-CL—	CENTERLINE OF DITCH
—FM—	FORCE MAIN
—GAS—	GAS MAIN
—RD-CL—	ROAD CENTERLINE
—8" SAN—	SANITARY SEWER
—12" SS—	STORM SEWER
—EX-TOS—	TOE OF SLOPE
—EX-TOB—	TOP OF BANK
—OHE—	UTILITIES - OVERHEAD
—UTIL—	UTILITIES - UNDERGROUND
—12" WM—	WATER MAIN

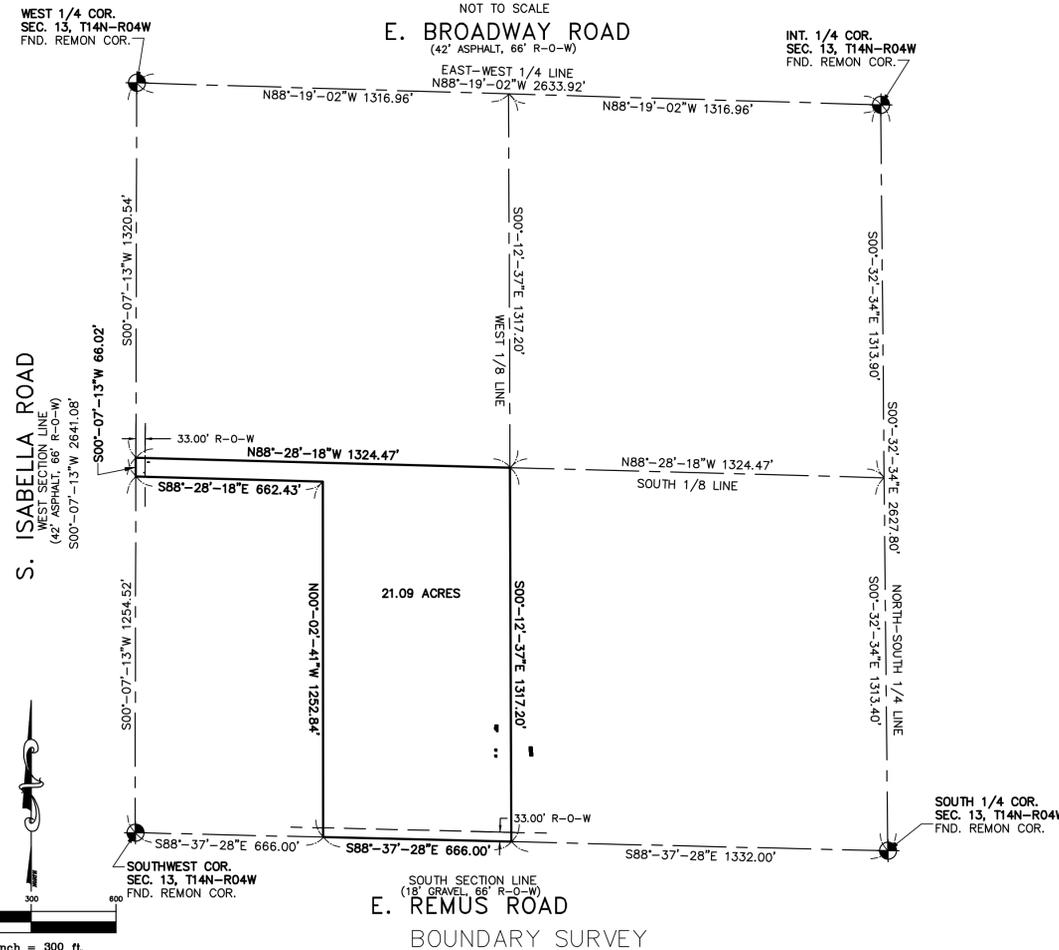
HATCH PATTERNS

[Hatch Pattern]	ASPHALT - EXISTING
[Hatch Pattern]	ASPHALT - PROPOSED
[Hatch Pattern]	CONCRETE
[Hatch Pattern]	GRAVEL
[Hatch Pattern]	LANDSCAPING
[Hatch Pattern]	RIP-RAP



LOCATION MAP

NOT TO SCALE



SHEET INDEX

1	COVER SHEET
2	OVERALL EXISTING TOPOGRAPHY/DEMOLITION PLAN
3	EXISTING TOPOGRAPHY DETAIL
4	HORIZONTAL SITE PLAN
5	SITE GRADING AND SOIL EROSION PLAN
6	STORMWATER CALCULATIONS
7	SIDEWALK DETAIL
8	PROPOSED LANDSCAPING PLAN
9	WATERMAIN PLAN & PROFILE
10	WATERMAIN DETAILS
11	LIGHTING PLAN (BY OTHERS)
12	LIGHTING DETAILS (BY OTHERS)
13	FLOOR PLAN (BY OTHERS)
14	BUILDING ELEVATIONS (BY OTHERS)

BEARING BASIS:

PER GEODETIC OBSERVATION MICHIGAN STATE PLAN SOUTH, THE BEARING OF THE SOUTH SECTION LINE BETWEEN THE SOUTHWEST CORNER AND THE SOUTH 1/4 CORNER WAS DETERMINED TO BE S88°-37'-28"E.

BENCHMARK:

SOUTHEAST FLANGE BOLT OF HYDRANT, N: 764951.08 E: 13023381.19 Z: 768.65

SITE:

5165 E. REMUS ROAD
MT. PLEASANT, MI 48858

OWNER:

THE CULTURAL AND RECREATION COMMISSION OF ISABELLA COUNTY
5165 EAST REMUS ROAD
MT. PLEASANT, MI 48858
PHONE: (989) 772-9623

CLIENT:

JBS CONTRACTING
1680 GOVER PARKWAY
MT. PLEASANT, MI 48858
CONTACT: JOE CLAYBAUGH
PHONE: (989) 621-3596
EMAIL: jclaybaugh@jbscontracting.com

CONSULTANT:

CENTRAL MICHIGAN SURVEYING & DEVELOPMENT CO., INC.
2257 E. BROOMFIELD ROAD
MT. PLEASANT, MI 48858
CONTACT PERSON: TIMOTHY E BEBEE
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com

CHARTER COMMUNICATIONS

915 E. BROOMFIELD STREET
MT. PLEASANT, MI 48858
(989) 621-4932
RANDY BUNKER
rbunker@chartercom.com

CONSUMERS ENERGY

1325 WRIGHT AVENUE
ALMA, MI 48801
(989) 466-4282
KIM STUDD
kimberly.studd@cmsenergy.com

FRONTIER

345 PINE AVENUE
ALMA, MI 48801
(989) 463-0392
MARK A. MARSHALL
Mark.Marshall@fr.com

DTE ENERGY

4420 44TH STREET S.E., SUITE B
KENTWOOD, MI 49512
(616) 954-4623
MARY JO MCKERSEY
mckersej@dteenergy.com

MT. PLEASANT FIRE DEPARTMENT

804 E. HIGH STREET
MT. PLEASANT, MI 48858
(989) 779-5100 EXT 5122
LT. BRAD DOEPKER
bdoepker@mt-pleasant.org

CHARTER TOWNSHIP OF UNION

PUBLIC WATER/PUBLIC SEWER
2010 S. LINCOLN ROAD
MT. PLEASANT, MI 48858
(989) 772-4600 EXT 24
KIM SMITH
ksmith@uniontownshipmi.com

CHARTER TOWNSHIP OF UNION

PLANNING & ZONING
2010 S. LINCOLN ROAD
MT. PLEASANT, MI 48858
(989) 772-4600 EXT 241
PETER GALLINAT
pgallinat@uniontownshipmi.com

DRAIN COMMISSIONERS OFFICE

ISABELLA COUNTY BUILDING
200 N. MAIN STREET ROOM 140
MT. PLEASANT, MI 48857
(989) 317-4072
ROBERT WILLOUGHBY
drobin@isabellacounty.org

ISABELLA COUNTY ROAD COMMISSION

2261 E. REMUS ROAD
MT. PLEASANT, MI 48858
(989) 773-7131 EXT 115
PATRICK GAFFNEY
Pgaffney@isabellaroads.com



COVER SHEET
JBS CONTRACTING
PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4
OF SECTION 13, T14N-R04W,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:

SUBMITTAL TO CLIENT FOR REVIEW 1-18-23
SUBMITTAL TO UNION TWP. PLANNING 1-30-23

JOB NUMBER: 2210-129
DRAWN BY: BTM
DESIGNED BY: N/A
CHECKED BY: TELB

SHEET NUMBER
1 OF 14

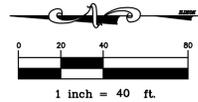
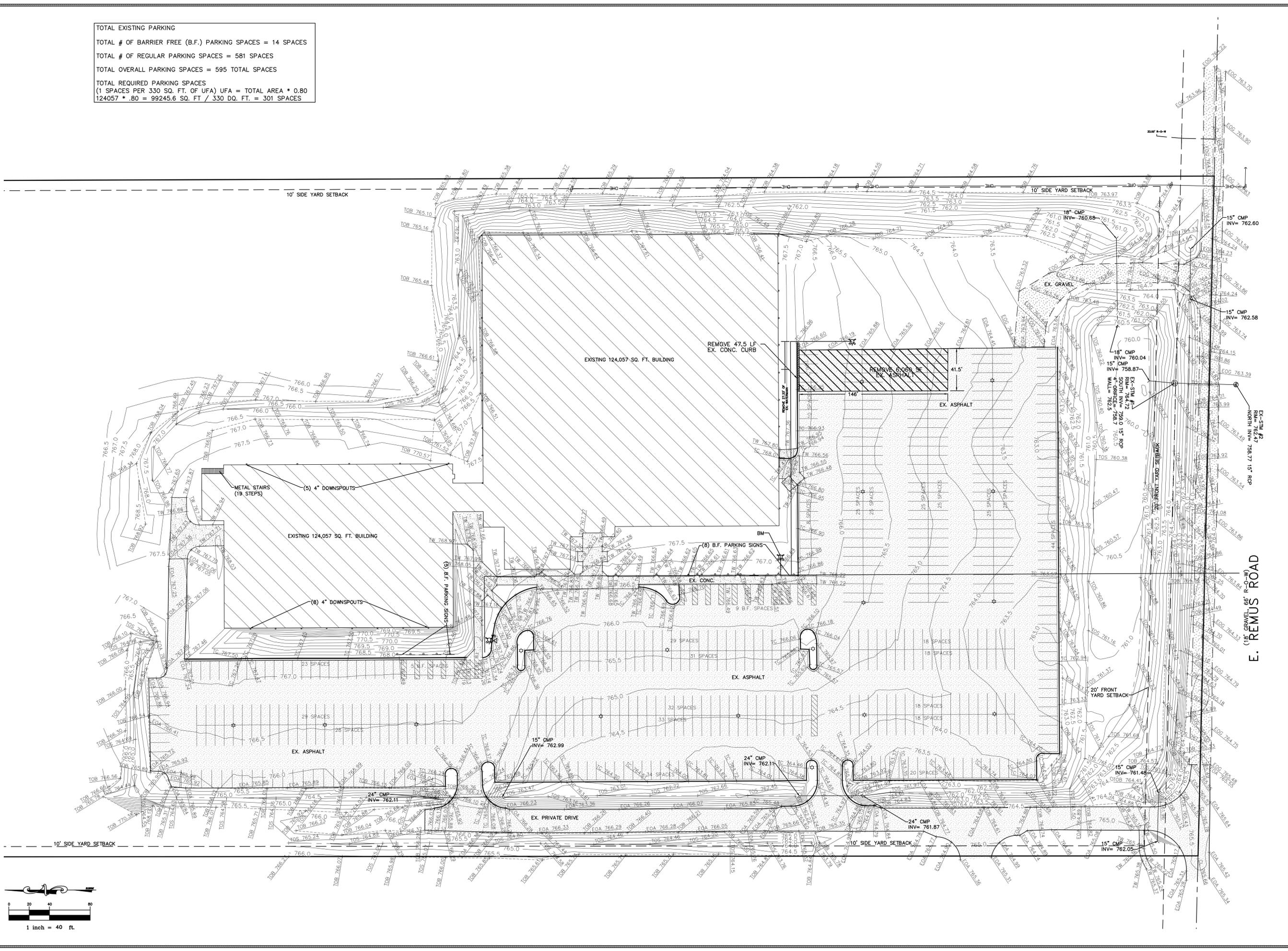
SCALE
N/A

TOTAL EXISTING PARKING
 TOTAL # OF BARRIER FREE (B.F.) PARKING SPACES = 14 SPACES
 TOTAL # OF REGULAR PARKING SPACES = 581 SPACES
 TOTAL OVERALL PARKING SPACES = 595 TOTAL SPACES
 TOTAL REQUIRED PARKING SPACES
 (1 SPACES PER 330 SQ. FT. OF UFA) UFA = TOTAL AREA * 0.80
 124057 * .80 = 99245.6 SQ. FT. / 330 SQ. FT. = 301 SPACES

2257 EAST BROOMFIELD ROAD
 MT. PLEASANT, MICHIGAN 48858
 PHONE: (989) 775-0756
 FAX: (989) 775-5012
 EMAIL: info@cmis-d.com



OVERALL EXISTING TOPOGRAPHY
 JBS CONSTRUCTION
 PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4
 OF SECTION 13, T14N-R04W, MICHIGAN
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN



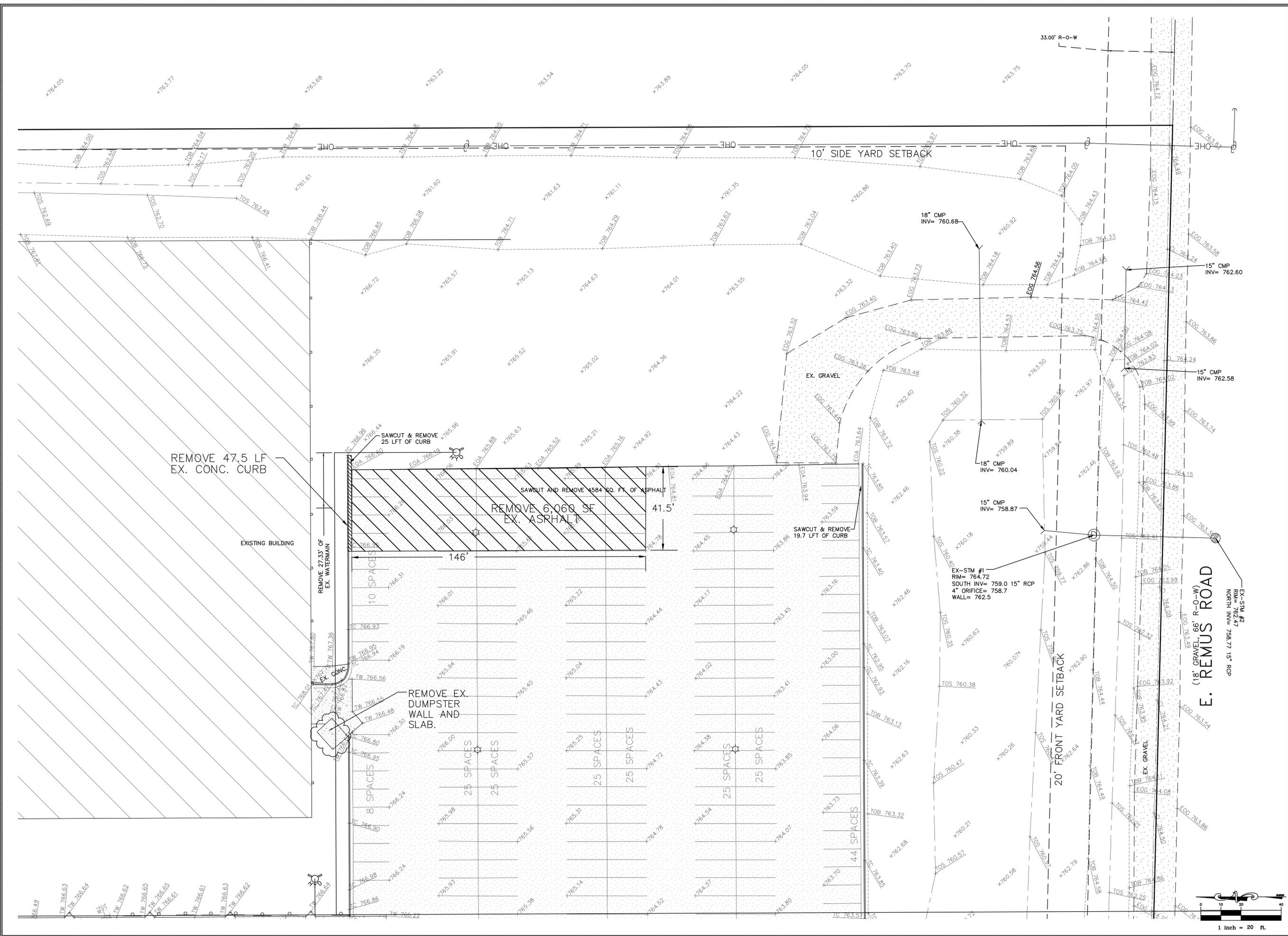
REVISIONS:

SUBMITTAL TO CLIENT FOR REVIEW 1-18-23
 SUBMITTAL TO UNION TWP. PLANNING 1-30-23

JOB NUMBER: 2210-129
 DRAWN BY: BTM
 DESIGNED BY: N/A
 CHECKED BY: TELB

SCALE: 1" = 40'
 SHEET NUMBER: 2 OF 14

E. REMUS ROAD
 (GRAVEL, 66' F.C.W.)



REMOVE 47.5 LF EX. CONC. CURB

EXISTING BUILDING

SAWCUT & REMOVE 25 LFT OF CURB

REMOVE 6,060 SF EX. ASPHALT

REMOVE EX. DUMPSTER WALL AND SLAB.

SAWCUT & REMOVE 19.7 LFT OF CURB

18" CMP INV= 760.68

18" CMP INV= 760.04

15" CMP INV= 758.87

EX-STM #2
RIM= 762.47
NORTH INV= 758.71 15" RCP

EX-STM #1
RIM= 764.72
SOUTH INV= 759.0 15" RCP
4" ORIFICE= 758.7
WALL= 762.5

E. REMUS ROAD

10' SIDE YARD SETBACK

20' FRONT YARD SETBACK

1 inch = 20 ft.

EXISTING TOPOGRAPHY DETAIL
JBS CONSTRUCTION
 PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 13, T14N-R04W, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

2257 EAST BROOMFIELD ROAD
 MT. PLEASANT, MICHIGAN 48858
 PHONE: (989) 775-0756
 FAX: (989) 775-5012
 EMAIL: info@jbs-c.com

REVISIONS:

NO.	DATE	DESCRIPTION
1	1-18-23	SUBMITTAL TO CLIENT FOR REVIEW
2	1-30-23	SUBMITTAL TO UNION TWP. PLANNING

SCALE

1" = 20'

SHEET NUMBER

3 OF 14

CHECKED BY:

TELB

JOB NUMBER:

2210-129

DRAWN BY:

BTM

DESIGNED BY:

N/A

CHECKED BY:

TELB

SUBMITTAL TO CLIENT FOR REVIEW 1-18-23

SUBMITTAL TO UNION TWP. PLANNING 1-30-23

TOTAL PROPOSED PARKING
 TOTAL # OF BARRIER FREE (B.F.) PARKING SPACES = 14 SPACES
 TOTAL # OF REGULAR PARKING SPACES = 578 SPACES
 TOTAL OVERALL PARKING SPACES = 592 TOTAL SPACES
 TOTAL REQUIRED PARKING SPACES
 (1 SPACES PER 330 SQ. FT. OF UFA) UFA = TOTAL AREA * 0.80
 136730 * .80 = 109384 SQ. FT. / 330 SQ. FT. = 332 SPACES

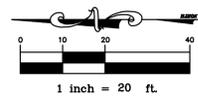
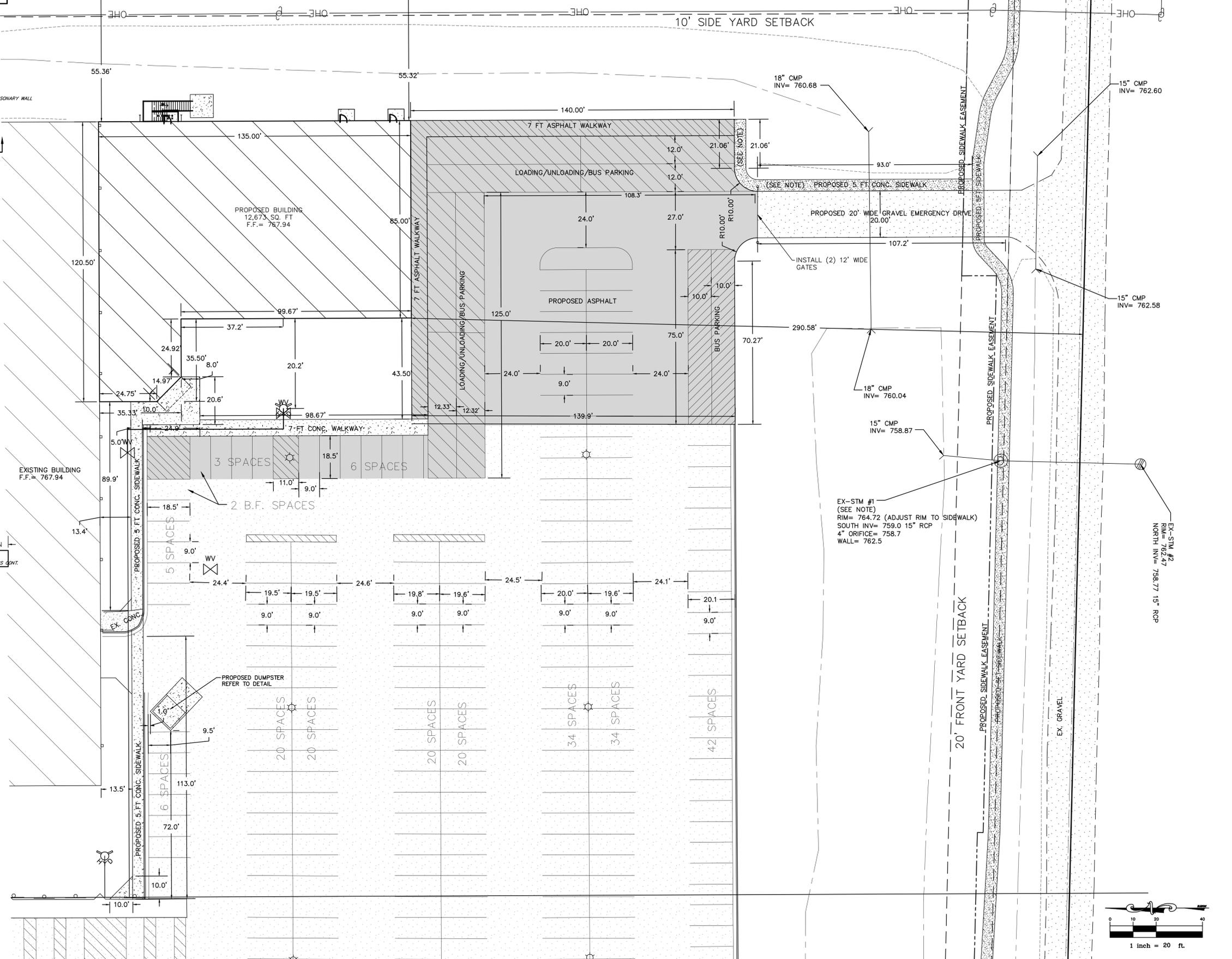
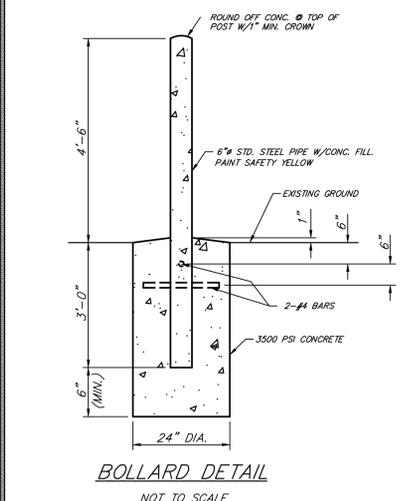
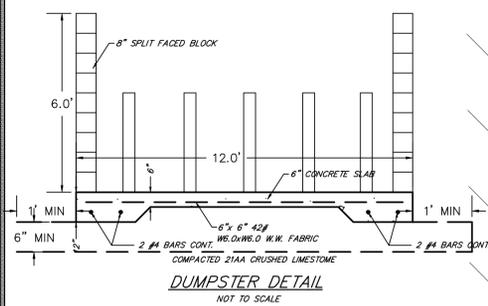
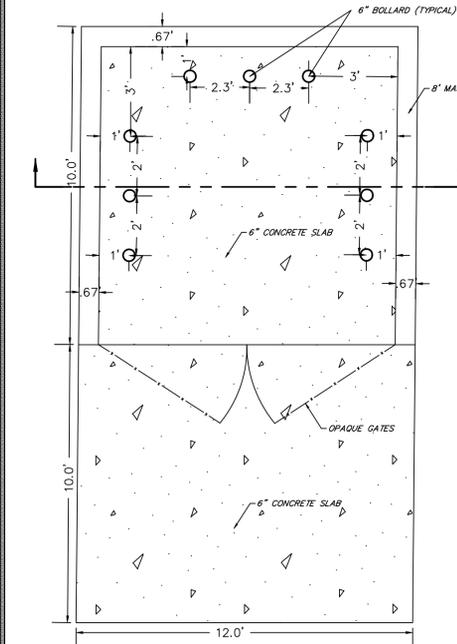
USE STATEMENT: THE CURRENT USE OF THE PROPERTY IS A COMMUNITY ACTIVITY CENTER, HAVING AN ICE RINK, A COURTS FOR MANY ACTIVITIES. THE PROPOSED ADDITION WILL HOUSE A DEDICATED GYMNASIUMS CENTER. CURRENTLY THESE ACTIVITIES ARE SHARING GYM SPACE IN THE CURRENT FACILITY AND THUS THE STATED USE OF THE PROPERTY WILL REMAIN UNCHANGED.

DEVELOPMENT SCHEDULE: PROPOSED CONSTRUCTION WILL OCCUR DURING 2023 AND PERHAPS INTO 2024. ACTIVITIES TO BEGIN IN 2024.
EXISTING NATURAL FEATURES: THE PROPOSED AREA OF DEVELOPMENT IS CURRENTLY EITHER GRAVEL OR WILD, UNKEPT GRASSES.

PROPOSED WATER/SEWER SERVICE: THE EXISTING WATER AND SEWER SERVICE WILL BE UTILIZED TO PROVIDE SERVICE TO THE PROPOSED EXPANSION. NO NEW SERVE LINES ARE BEING PROPOSED. A FIRE HYDRANT WILL NEED TO BE RELOCATED.

SELLING/LEASING NOTE: THE OWNER DOES NOT INTEND TO SELL OR LEASE ANY PART OF THE PROPERTY PRIOR TO OR AFTER THE PROPOSED ADDITION IS CONSTRUCTED.

WASTE & RECYCLING NOTE: THE PROPERTY CURRENTLY HAS DUMPSTERS WHICH IT UTILIZES FOR WASTE. THERE IS VERY LIMITED ITEMS THAT COULD BE RECYCLED.



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 MT. PLEASANT, MICHIGAN 48858
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HORIZONTAL SITE PLAN
JBS CONTRUCTION
 PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4
 OF SECTION 13, T14N-R04W, MICHIGAN
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

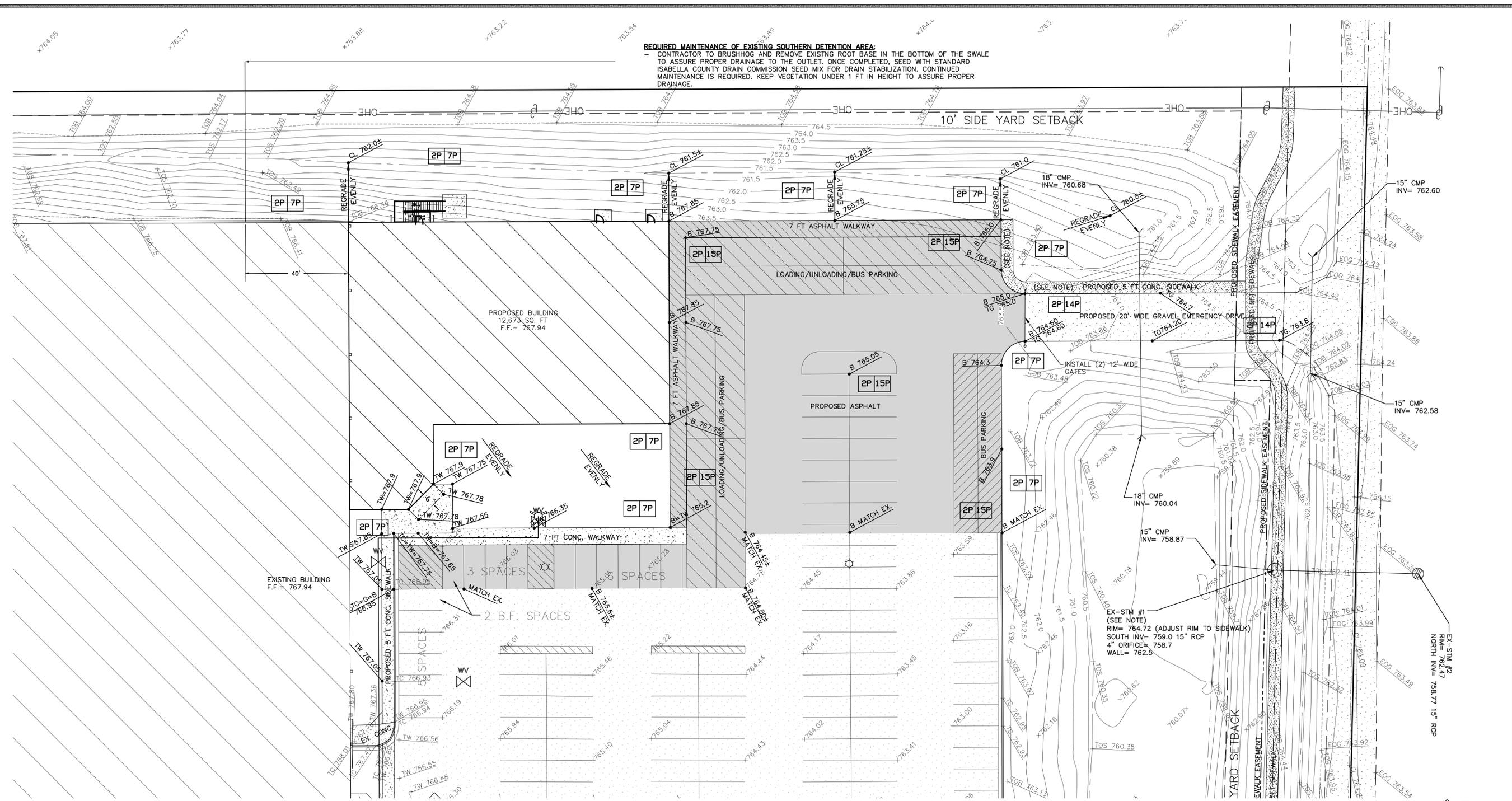
REVISIONS:

SUBMITTALS:

JOB NUMBER: 2210-129	DRAWN BY: BTM	DESIGNED BY: TELB	CHECKED BY: TELB
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SCALE 1" = 20'	SHEET NUMBER 4 OF 14
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REQUIRED MAINTENANCE OF EXISTING SOUTHERN DETENTION AREA:
 CONTRACTOR TO BRUSH/HS AND REMOVE EXISTING ROOT BASE IN THE BOTTOM OF THE SWALE TO ASSURE PROPER DRAINAGE TO THE OUTLET. ONCE COMPLETED, SEED WITH STANDARD ISABELLA COUNTY DRAIN COMMISSION SEED MIX FOR DRAIN STABILIZATION. CONTINUED MAINTENANCE IS REQUIRED. KEEP VEGETATION UNDER 1 FT IN HEIGHT TO ASSURE PROPER DRAINAGE.



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SITE GRADING AND SOIL EROSION PLAN
 JBS CONTRACTION
 PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4
 OF SECTION 13, T14N-R04W,
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:
 SUBMITTAL TO CLIENT FOR REVIEW 1-18-23
 SUBMITTAL TO UNION TWP. PLANNING 1-30-23

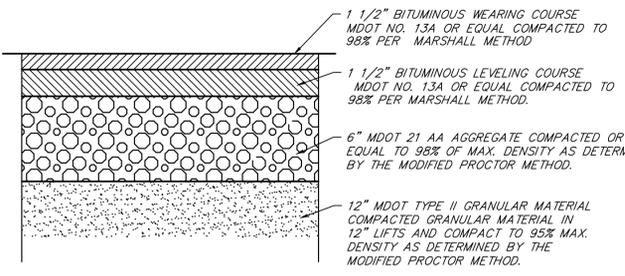
JOB NUMBER: 2210-129
 DRAWN BY: BTM
 DESIGNED BY: TELB
 CHECKED BY: TELB

SCALE: 1" = 20'
 SHEET NUMBER: 5 OF 14

MICHIGAN UNIFIED KEYING SYSTEM

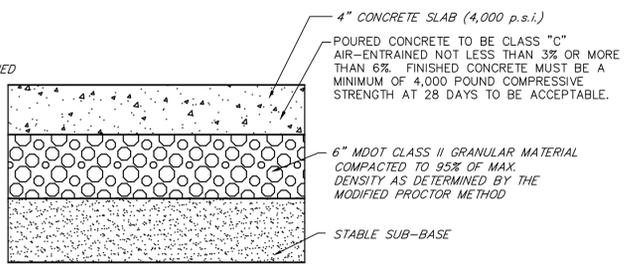
14P SOIL EROSION & SEDIMENTATION CONTROL MEASURES
 P = PERMANENT T = TEMPORARY

KEY	DETAIL	CHARACTERISTICS
2	Selective Grading & Shaping	Water can be diverted to minimize erosion. Flatter slopes wove erosion problems.
7	Hydro-seeding	Effective on large areas. Match seeding agent used to provide immediate protection until grass is rooted. Should include prepared topsoil bed.
14	Aggregate Cover	Stabilizes soil surface, thus minimizing erosion. Permits construction traffic in adverse weather. May be used as part of permanent base construction of paved areas.
15	Paving	Protects areas which cannot otherwise be protected, but increases runoff volume and velocity. Irregular surface will help slow velocity.



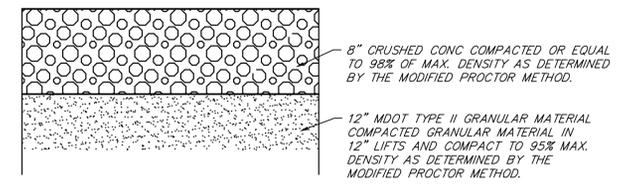
NOTE: COMPACTION TESTS ARE REQUIRED. RESULTS SHALL BE SUBMITTED TO OWNER PRIOR TO FINAL ACCEPTANCE OF SUB-BASE, BASE AND ASPHALT MATERIALS.

PARKING LOT ASPHALT PAVEMENT CROSS-SECTION
 NOT TO SCALE



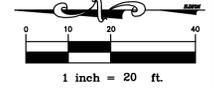
NOTE: COMPACTION TESTS ARE REQUIRED. RESULTS SHALL BE SUBMITTED TO OWNER PRIOR TO FINAL ACCEPTANCE OF SUB-BASE, BASE AND ASPHALT MATERIALS.

CONCRETE SIDEWALK CROSS-SECTION
 NOT TO SCALE



PARKING LOT GRAVEL CROSS-SECTION
 NOT TO SCALE

REQUIRED MODIFICATION TO EXISTING CONTROL STRUCTURE:
 - GROUT 0.5 FT THICK BLOCKS TO TOP OF WEIR WALL TO BRING WALL ELEVATION TO 763.05
 - EXISTING ORIFICE IS 4" DIAMETER. CUT 5.25 INCH ORIFICE AT INVERT OF EXISTING 4" HOLE.



DETENTION POND DESIGN CALCULATION

Site Location **Morey Courts 2023 Expansion**
Proposed Storm Water Management Plan

Area (Acres)	C
Hard Surface/Imperv. Area	0.95
Gravel	0.75
Green Space/Lawn	0.30
Cont. Drainage Area (Acres)	15.49 (J)

Proposed Runoff "C" Value 0.72 (I)
Maximum Allowable Outflow (CFS) 1.55 (G)
Storm Recurrence Interval (Yrs) 25

A	B	C	D	E	F	G	H
Duration (Minutes)	Duration (Hours)	25-Year Total Rainfall (Inches)	25-Year Rainfall Intensity (Inch/Hr)	Proposed Runoff Flow Rate (CFS)	Proposed Runoff Volume (CFT)	Maximum Allowable Outflow (CFS)	Required Detention Storage (CFT)
5	0.08	0.50	6.00	66.77	20,030	1.55	19,565
10	0.17	0.87	5.22	58.69	34,851	1.55	33,921
15	0.25	1.12	4.48	49.85	44,866	1.55	43,471
20	0.33	1.30	3.90	43.40	52,077	1.55	50,217
30	0.50	1.54	3.08	34.27	61,691	1.55	58,901
40	0.67	1.75	2.63	29.21	70,103	1.55	66,383
50	0.83	1.89	2.27	25.24	75,712	1.55	71,062
60	1.00	1.95	1.95	21.70	78,115	1.55	72,533
90	1.50	2.27	1.51	16.84	90,934	1.55	82,564
120	2.00	2.41	1.21	13.41	96,542	1.55	85,382
180	3.00	2.66	0.89	9.87	106,557	1.55	89,817
360	6.00	3.11	0.52	5.77	124,583	1.55	91,103
720	12.00	3.61	0.30	3.35	144,613	1.55	77,653
1080	18.00	3.90	0.22	2.41	156,230	1.55	55,790
1440	24.00	4.15	0.17	1.92	166,245	1.55	32,325

Maximum: **91,103**

RETENTION POND DESIGN CALCULATION

Retain back to back 25-Year 24 Hour Design Storm from the Entire Contributing Area (4.15 Inches of Rainfall)

335,260 CFT

- Duration of the storm event in minutes.
- Duration of the storm event in hours.
- Total amount of rainfall during a 25-year recurrence storm event for the given duration in Column A & B (ref: midwestern climatological center rainfall Atlas-Bulletin 71).
- Average rainfall intensity during the 25-year recurrence storm event. Calculated by dividing Column C by Column B.
- The unrestricted 25-year recurrence discharge flow rate from the proposed site under fully developed conditions. Calculated by multiplying Intensity (D) and Drainage Area (I).
- The unrestricted storm event for the given duration in Column A and B. Calculated by multiplying the Proposed Runoff Flow Rate (E) by the Storm Duration (A) and by 60 seconds/minute.
- The maximum allowable discharge from the site is determined by multiplying the drainage area by 0.15 CFS per acre or if the proposed outlet is restrictive by determining the sites share of the existing outlet capacity on a contributing area basis.
- The required retention storage is determined by multiplying the difference flow rate (Inflow (E) - Outflow (G)) by the corresponding duration (A) and by 60 seconds/minute. The amount of storage required for various storm durations will vary based on rainfall intensity, the size of the drainage area, and the allowable discharge. The maximum volume of storage for the various storm durations will be the required detention storage volume.
- Proposed weighted runoff coefficient.
- Contributing Drainage to the proposed detention or retention system.

Calculation By: Timothy E Bebee, P.S.

Date: 12/15/2022

Central Michigan Surveying and Development Co., Inc.
November 2022

DETENTION POND DESIGN CALCULATION

Site Location **Morey Courts 2023 Expansion**
Proposed Storm Water Management Plan

Area (Acres)	C
Hard Surface/Imperv. Area	0.95
Gravel	0.75
Green Space/Lawn	0.30
Cont. Drainage Area (Acres)	15.49 (J)

Proposed Runoff "C" Value 0.72 (H)
Maximum Allowable Outflow (CFS) 1.55 (G)
Storm Recurrence Interval (Yrs) 100

A	B	C	D	E	F	G
Duration (Minutes)	Duration (Hours)	100-Year Rainfall Intensity (Inch/Hr)	Proposed Runoff Flow Rate (CFS)	Proposed Runoff Volume (CFT)	Maximum Allowable Outflow (CFS)	Required Detention Storage (CFT)
10	0.17	7.19	80.01	48,004	1.55	47,074
20	0.33	5.06	56.31	47,566	1.55	45,706
30	0.50	3.94	43.84	78,916	1.55	76,126
40	0.67	3.26	36.28	87,062	1.55	83,342
50	0.83	2.80	31.16	93,471	1.55	88,821
60	1.00	2.46	27.37	98,545	1.55	92,965
120	2.00	1.47	16.36	117,773	1.55	106,613
180	3.00	1.08	12.02	129,791	1.55	113,051
240	4.00	0.86	9.57	137,803	1.55	115,483
300	5.00	0.72	8.01	144,212	1.55	116,312
360	6.00	0.62	6.90	149,019	1.55	115,539
480	8.00	0.49	5.45	157,031	1.55	112,391
600	10.00	0.41	4.56	164,242	1.55	108,442
720	12.00	0.35	3.89	168,248	1.55	101,288
1080	18.00	0.25	2.78	180,266	1.55	79,826
1440	24.00	0.20	2.23	192,283	1.55	58,363

Maximum: **116,312**

RETENTION POND DESIGN CALCULATION

Retain back to back 25-Year 24 Hour Design Storm from the Entire Contributing Area (4.15 Inches of Rainfall)

335,260 CFT

- Duration of the storm event in minutes.
- Duration of the storm event in hours.
- Average rainfall intensity during the 25-year recurrence storm event. Calculated by dividing Column C by Column B.
- The unrestricted 25-year recurrence discharge flow rate from the proposed site under fully developed conditions. Calculated by multiplying Intensity (D) and Drainage Area (I).
- The unrestricted storm event for the given duration in Column A and B. Calculated by multiplying the Proposed Runoff Flow Rate (E) by the Storm Duration (A) and by 60 seconds/minute.
- The maximum allowable discharge from the site is determined by multiplying the drainage area by 0.15 CFS per acre or if the proposed outlet is restrictive by determining the sites share of the existing outlet capacity on a contributing area basis.
- The required retention storage is determined by multiplying the difference flow rate (Inflow (E) - Outflow (G)) by the corresponding duration (A) and by 60 seconds/minute. The amount of storage required for various storm durations will vary based on rainfall intensity, the size of the drainage area, and the allowable discharge. The maximum volume of storage for the various storm durations will be the required detention storage volume.
- Proposed weighted runoff coefficient.
- Contributing Drainage to the proposed detention or retention system.

Calculation By: Timothy E Bebee, P.S.

Date: 12/15/2022

Central Michigan Surveying and Development Co., Inc.
November 2022

POND VOLUME CALCULATIONS

MAIN SOUTH POND

- 750.5 CONTOUR = 38 SF
- 760.0 CONTOUR = 2,889 SF
- 760.5 CONTOUR = 12,114 SF
- 761.0 CONTOUR = 19,063 SF
- 761.5 CONTOUR = 26,384 SF
- 762.0 CONTOUR = 32,096 SF
- 762.5 CONTOUR = 38,458 SF
- 763.0 CONTOUR = 45,522 SF
- 763.5 CONTOUR = 63,065 SF
- 764.0 CONTOUR = 97,418 SF

VOL 760.0 = (38 + 2,889)/2 * 1/2 = 731.75 CF T-VOL = 4,482.5 CF
 VOL 760.5 = (2,889 + 12,114)/2 * 1/2 = 3,750.75 CF T-VOL = 23,638.5 CF
 VOL 761.0 = (12,114 + 19,063)/2 * 1/2 = 7,794.25 CF T-VOL = 38,258.5 CF
 VOL 761.5 = (19,063 + 26,384)/2 * 1/2 = 11,361.75 CF T-VOL = 55,897.0 CF
 VOL 762.0 = (26,384 + 32,096)/2 * 1/2 = 14,620.0 CF T-VOL = 78,892.0 CF
 VOL 762.5 = (32,096 + 38,458)/2 * 1/2 = 17,638.5 CF T-VOL = 104,038.75 CF
 VOL 763.0 = (38,458 + 45,522)/2 * 1/2 = 20,995.0 CF T-VOL = 144,159.5 CF
 VOL 763.5 = (45,522 + 63,065)/2 * 1/2 = 27,146.75 CF T-VOL = 184,159.5 CF
 VOL 764.0 = (63,065 + 97,418)/2 * 1/2 = 40,120.75 CF T-VOL = 224,159.5 CF

VOLUME AT CONTOUR 763.05 PROVIDES A MINIMUM 1 FT FREEBOARD FOR POND

EAST SWALE

- 760.5 CONTOUR = 10 SF
- 761.0 CONTOUR = 670 SF
- 761.5 CONTOUR = 2,221 SF
- 762.0 CONTOUR = 5,047 SF
- 762.5 CONTOUR = 8,621 SF
- 763.0 CONTOUR = 13,312 SF
- 763.5 CONTOUR = 18,829 SF
- 764.0 CONTOUR = 24,721 SF

VOL 761.0 = (10 + 670)/2 * 1/2 = 170.0 CF T-VOL = 892.75 CF
 VOL 761.5 = (670 + 2,221)/2 * 1/2 = 722.75 CF T-VOL = 2,709.75 CF
 VOL 762.0 = (2,221 + 5,047)/2 * 1/2 = 1,817.0 CF T-VOL = 6,126.75 CF
 VOL 762.5 = (5,047 + 8,621)/2 * 1/2 = 3,417.0 CF T-VOL = 11,610.0 CF
 VOL 763.0 = (8,621 + 13,312)/2 * 1/2 = 5,483.25 CF T-VOL = 19,645.25 CF
 VOL 763.5 = (13,312 + 18,829)/2 * 1/2 = 8,035.25 CF T-VOL = 30,532.75 CF
 VOL 764.0 = (18,829 + 24,721)/2 * 1/2 = 10,887.5 CF T-VOL = 40,390.0 CF

VOLUME AT CONTOUR 763.05 PROVIDES A MINIMUM 1 FT FREEBOARD FOR POND

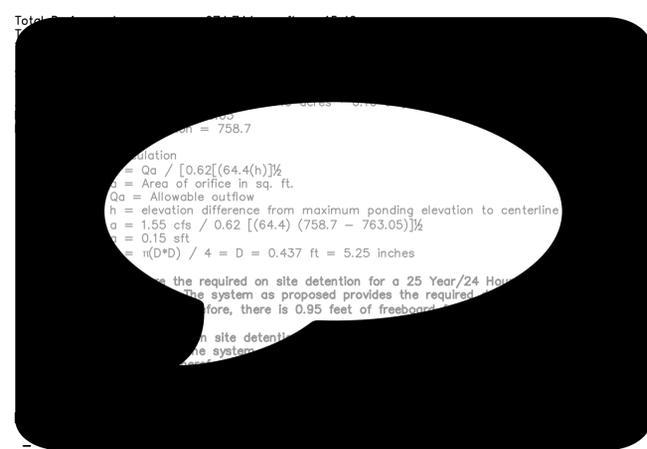
WEST SWALE

- 762.0 CONTOUR = 10 SF
- 762.5 CONTOUR = 115 SF
- 763.0 CONTOUR = 1,084 SF
- 763.5 CONTOUR = 3,045 SF
- 764.0 CONTOUR = 7,658 SF

VOL 762.5 = (10 + 115)/2 * 1/2 = 31.25 CF T-VOL = 331.0 CF
 VOL 763.0 = (115 + 1,084)/2 * 1/2 = 299.75 CF T-VOL = 1,363.25 CF
 VOL 763.5 = (1,084 + 3,045)/2 * 1/2 = 1,032.25 CF T-VOL = 4,039.0 CF
 VOL 764.0 = (3,045 + 7,658)/2 * 1/2 = 2,675.75 CF T-VOL = 9,714.75 CF

VOLUME AT CONTOUR 763.05 PROVIDES A MINIMUM 1 FT FREEBOARD FOR POND

STORM WATER CALCULATIONS

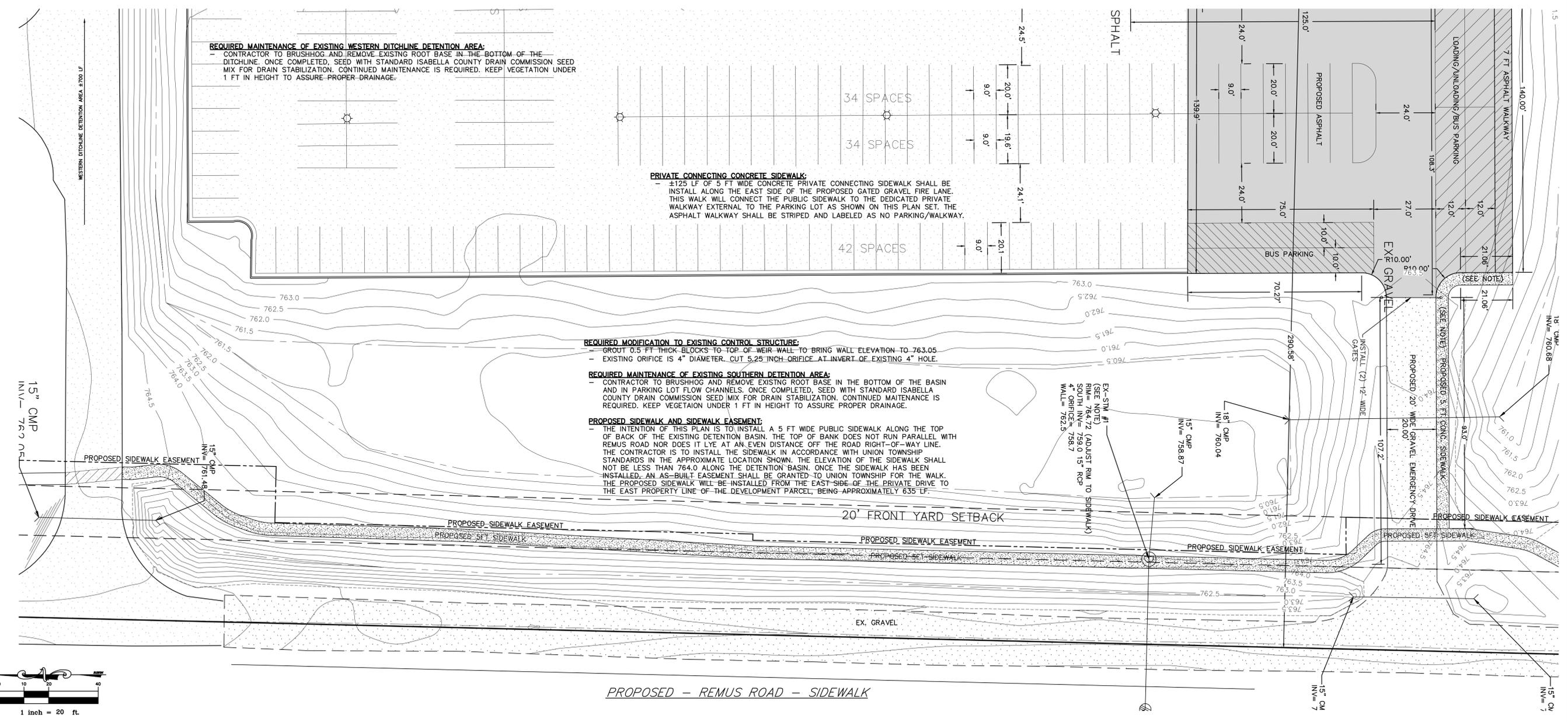
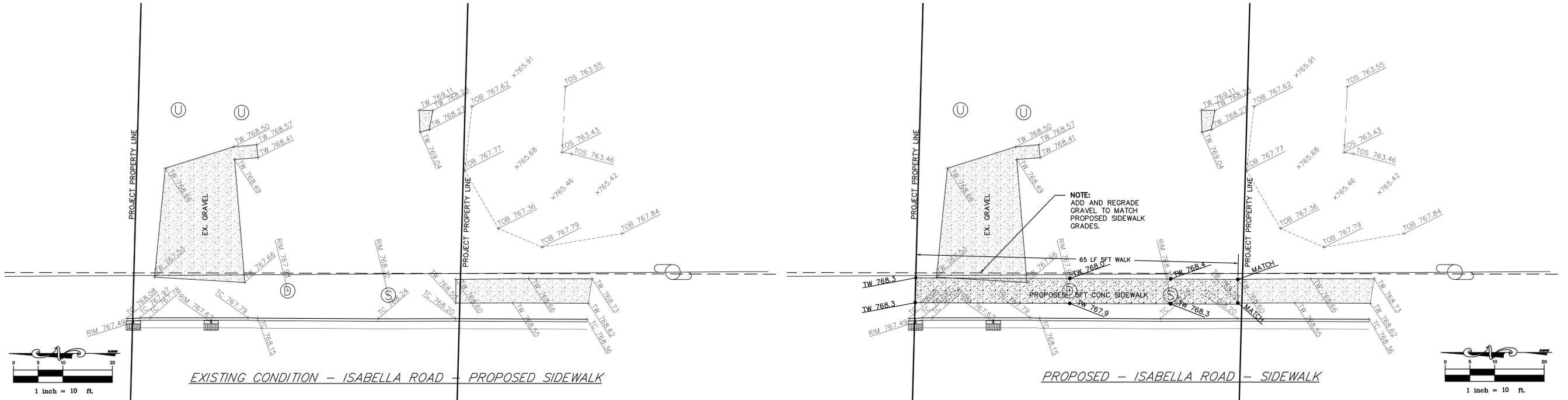


2257 EAST BROOMFIELD ROAD
MT. PLEASANT, MICHIGAN 48858
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EMAIL: info@cmcs-d.com



STORMWATER CALCULATIONS
JBS CONSTRUCTION
PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4
OF SECTION 13, T14N-R04W,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

SCALE	N/A
JOB NUMBER:	2210-129
DRAWN BY:	BTM
DESIGNED BY:	TELB
CHECKED BY:	TELB
SHEET NUMBER	6 OF 14
REVISIONS:	SUBMITTAL TO CLIENT FOR REVIEW 1-18-23 SUBMITTAL TO UNION TWP. PLANNING 1-30-23



SIDEWALK DETAILS
JBS CONSTRUCTION
 PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4
 OF SECTION 13, T14N-R04W, MICHIGAN
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

SCALE	VARIABLES	JOB NUMBER:	2210-129
		DRAWN BY:	BTM
		DESIGNED BY:	TELB
		CHECKED BY:	TELB
		SHEET NUMBER	7 OF 14
		REVISIONS:	SUBMITTAL TO CLIENT FOR REVIEW 1-18-23 SUBMITTAL TO UNION TWP. PLANNING 1-30-23

REQUIRED PROJECT LANDSCAPING:
 IN ACCORDANCE WITH SECTION 10, LANDSCAPING AND SCREENING OF THE UNION CHARTER TOWNSHIP ORDINANCE, THE FOLLOWING SHALL BE PLANTED IN ACCORDANCE WITH SECTION 10.2 SUMMARY OF MINIMUM PLANTING REQUIREMENTS AND SUMMARY OF PLANT MATERIAL SPECIFICATIONS OF PLANTING AND SECTION 10.4, STANDARDS FOR LANDSCAPING MATERIALS.

- LANDSCAPING ADJACENT TO ROADWAY.**
- 1) 1 TREE FOR EVERY 40 FRONT FEET.
 - 2) 1 TREE FOR EVERY 100 FRONT FEET.
 - 3) 8 SHRUBS FOR EVERY 40 FRONT FEET.

LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH SECTION 10.5, INSTALLATION AND MAINTENANCE. LANDSCAPING WILL HAVE ONE YEAR GUARANTEE FROM THE INSTALLER. PRIOR TO THE ONE YEAR ANNIVERSARY, THE INSTALLER WILL REPLACE ANY DAMAGED, DYING OR DEAD PLANTINGS. FOLLOWING THIS GUARANTEE PERIOD, EACH SPRING, THE PLANTINGS SHALL BE INSPECTED AND ANY DAMAGED, DYING OR DEAD PLANTINGS WILL BE REPLACED. GENERAL LAWN AREAS WILL BE MAINTAINED AND MOWED REGULARLY.

STREET PLANTING REQUIRED/PROPOSED - 187 LF REMUS RD.

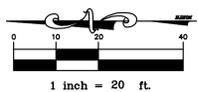
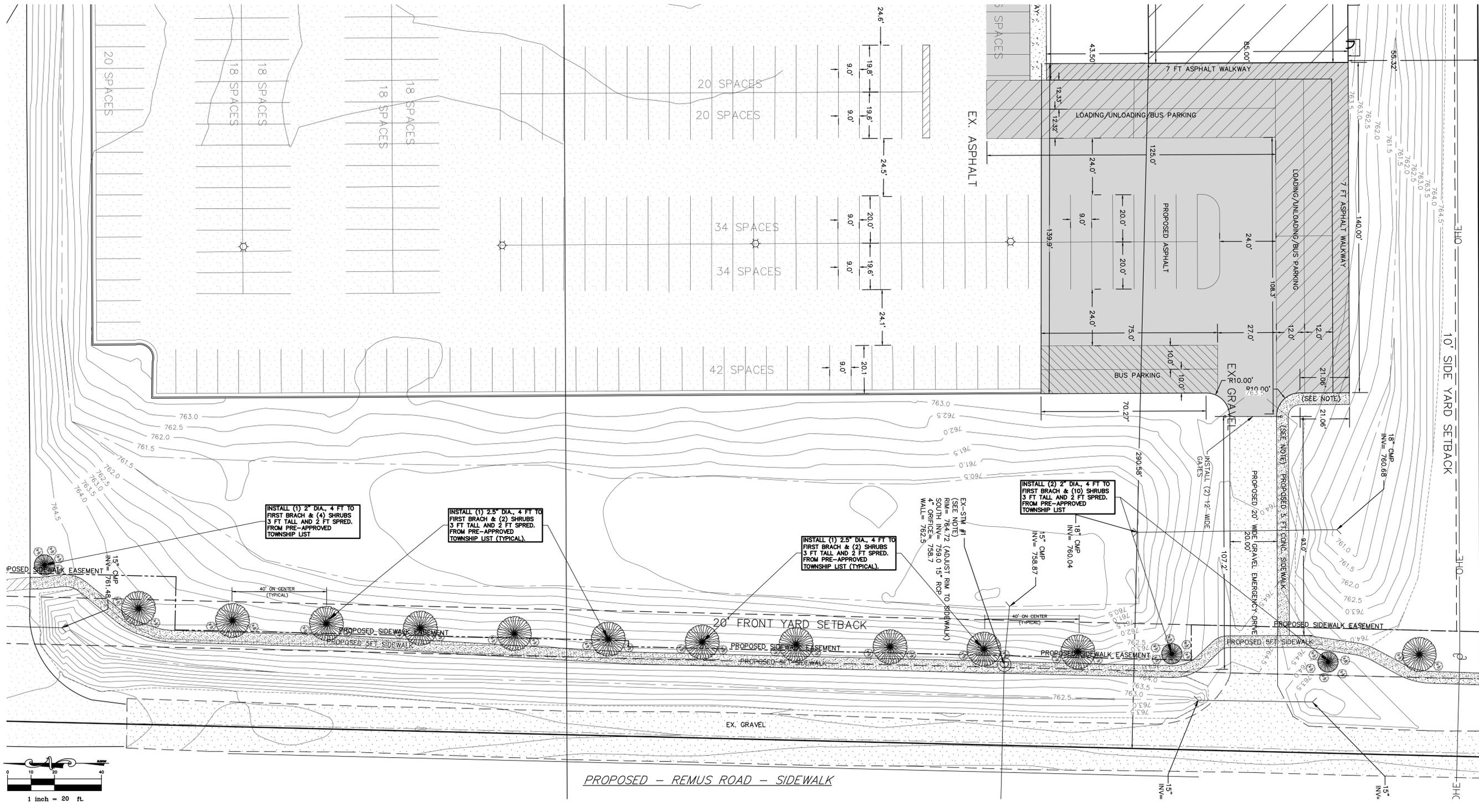
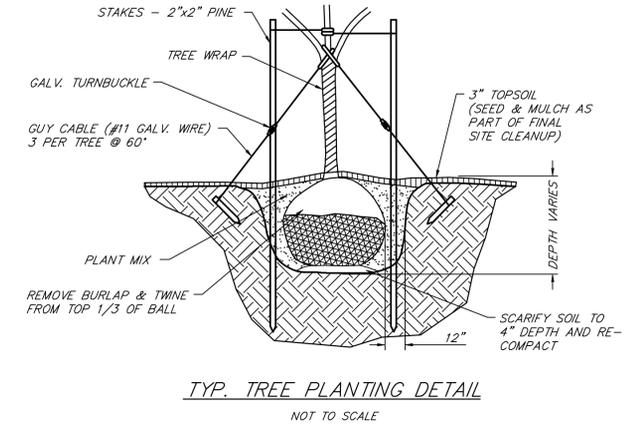
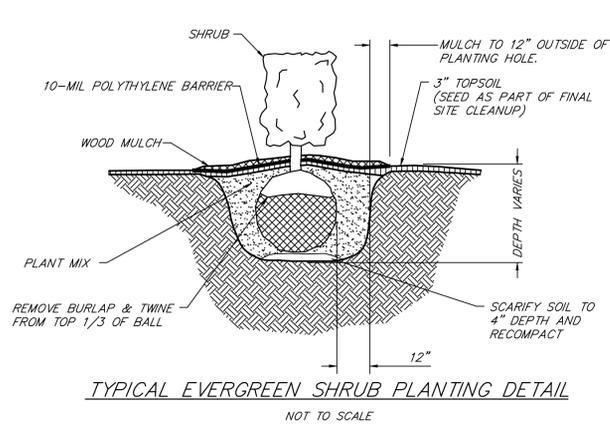
- | | |
|-------------------------|--------------------------|
| 5 DECIDUOUS TREES REQ. | 12 DECIDUOUS TREES PROP. |
| 2 ORNAMENTAL TREES REQ. | 3 ORNAMENTAL TREES PROP. |
| 37 SHRUBS REQ. | 38 SHRUBS PROP. |

TREE PLANTING GENERAL NOTES:

1. STAKE TREES UNDER 4" CALIPER
2. GUY TREES 4" CALIPER & OVER
3. PRUNE TO THIN & SHAPE CANOPY
4. CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION
5. SET TOP OF BALL TO CORRESPOND WITH FINISH GRADE
6. SET STAKES VERTICAL AND EVENLY
7. STAYS OR GUYS TO BE SET ABOVE FIRST BRANCH
8. SCARIFY SOIL TO 4" DEPTH & RECOMPACT
9. STAKES TO EXTEND 18" BELOW PIT IN UNDISTURBED SOIL

NOTE: ALL OTHER SOFT AREAS NOT DESIGNATED AS COVERED SHALL BE GRASS COVERED.

-  PROP DECIDUOUS TREE WITH A MIN. CALIPER OF 2.5 INCHES AND A MIN. HEIGHT OF 4 FEET TO FIRST BRANCH.
-  PROP ORNAMENTAL TREE - MIN. CALIPER OF 2.0 INCHES & A MIN. HEIGHT OF 4 FEET TO FIRST BRANCH.
-  PROP SHRUB - MIN. HEIGHT OF 3 FEET AND A MIN. SPREAD OF 2 FEET.

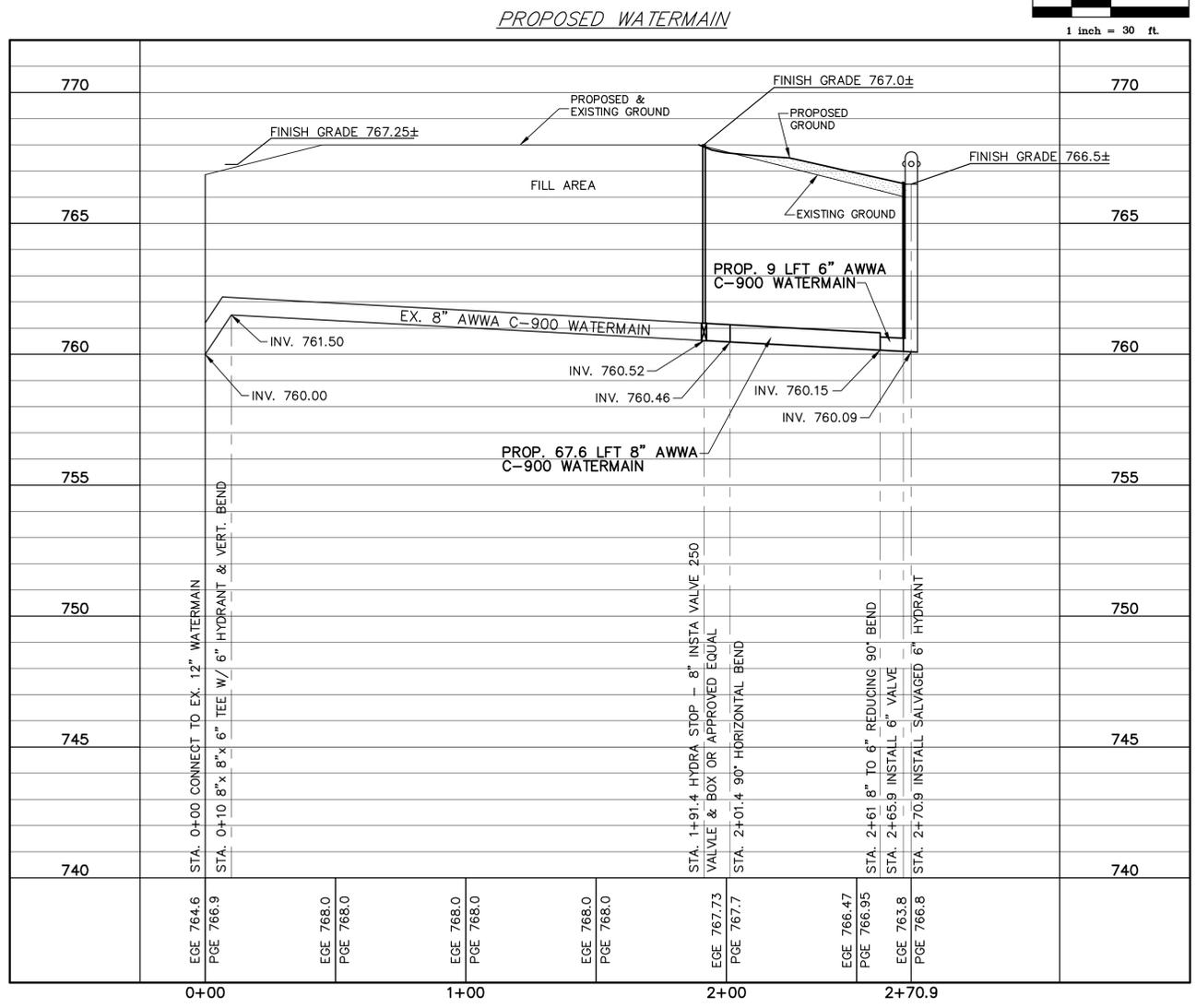
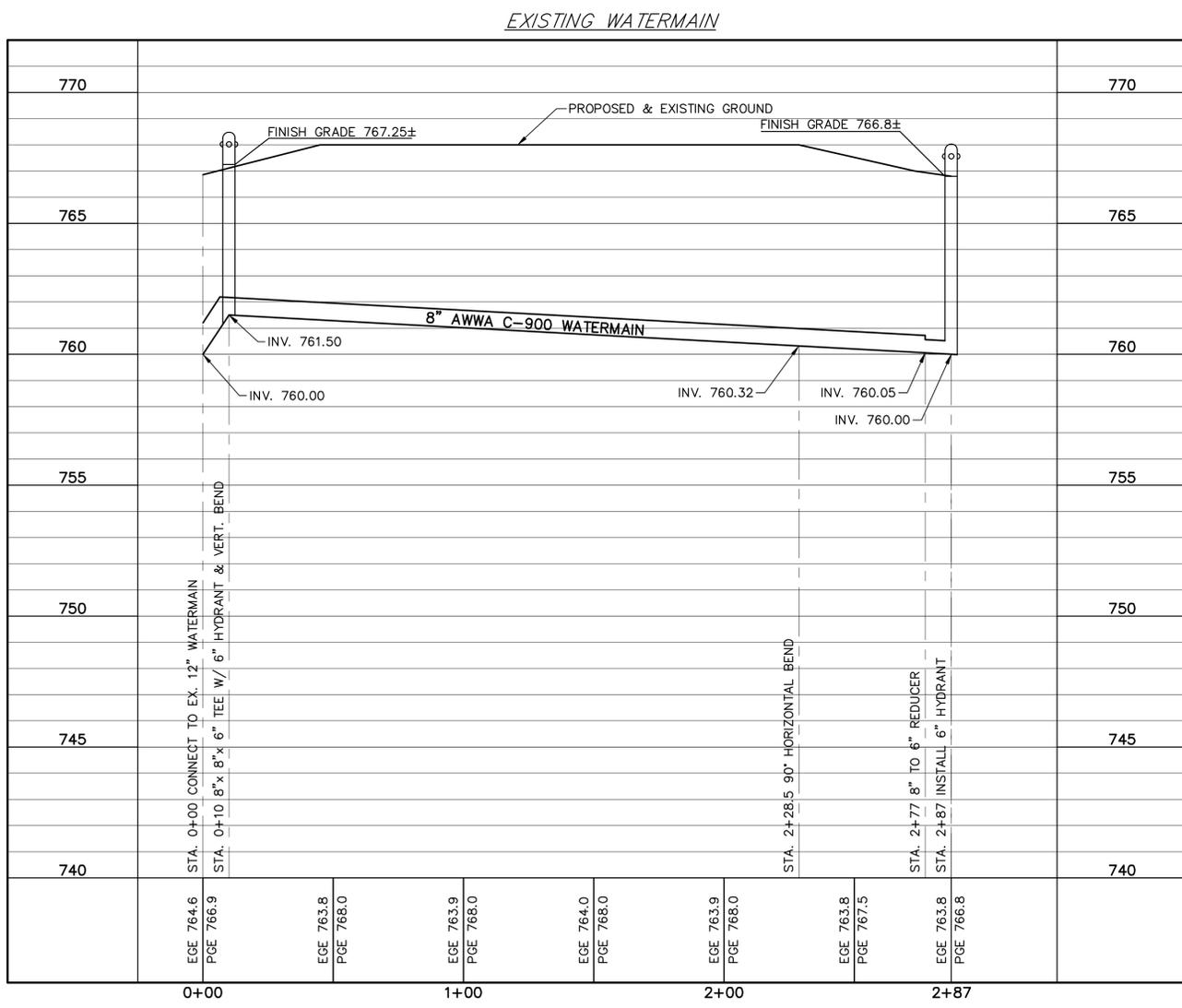
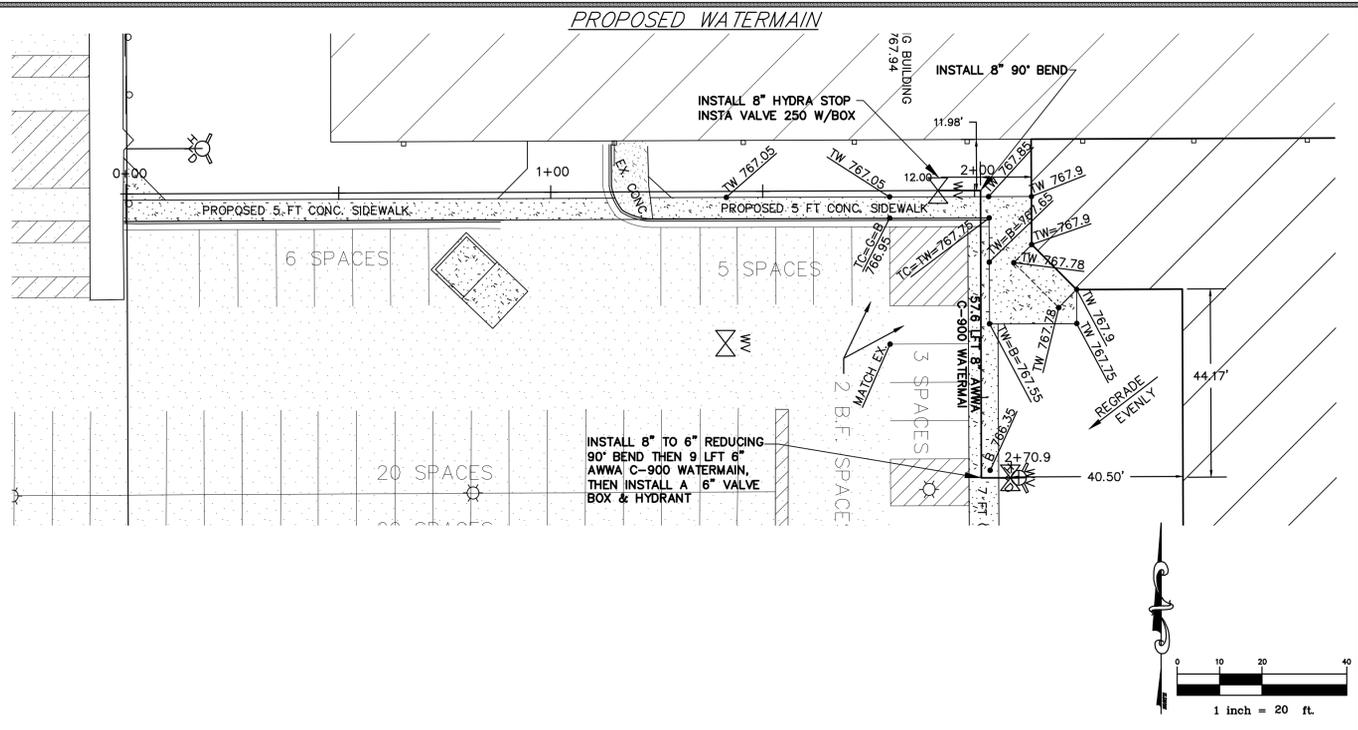
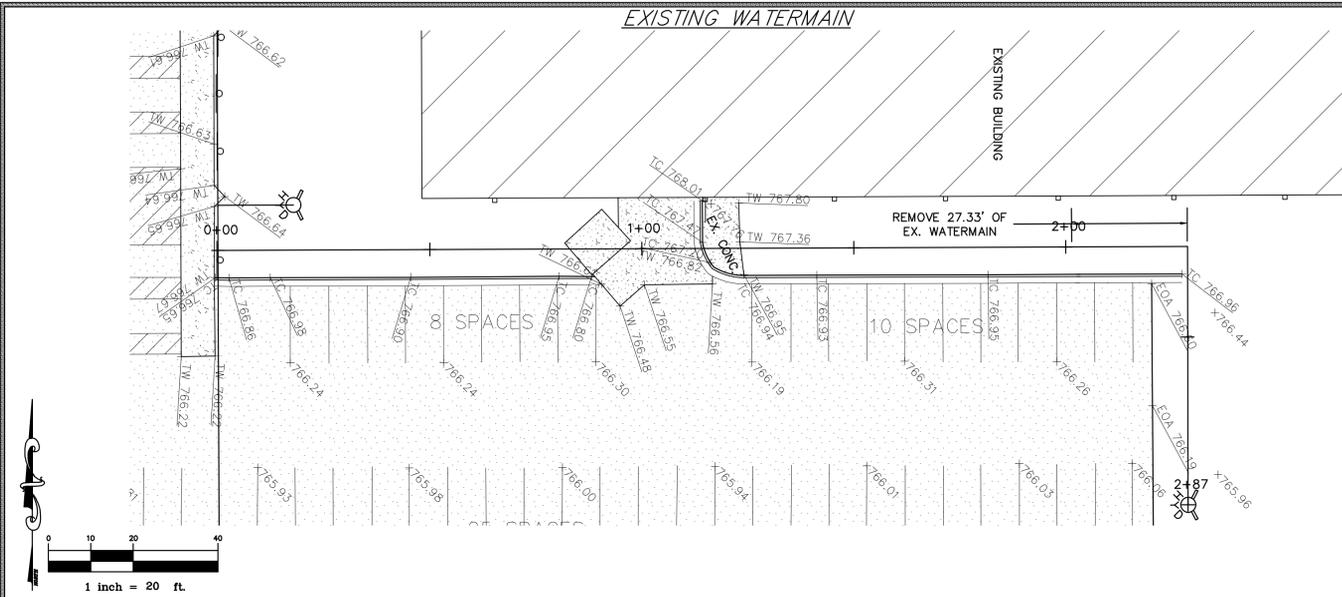


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PROPOSED LANDSCAPING PLAN
 JBS CONSTRUCTION
 PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4
 OF SECTION 13, T14N-R04W,
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

SCALE	VARIES
JOB NUMBER:	2210-129
DRAWN BY:	BTM
DESIGNED BY:	TELB
CHECKED BY:	TELB
SHEET NUMBER	8 OF 14
REVISIONS:	SUBMITTAL TO CLIENT FOR REVIEW 1-18-23 SUBMITTAL TO UNION TWP. PLANNING 1-30-23

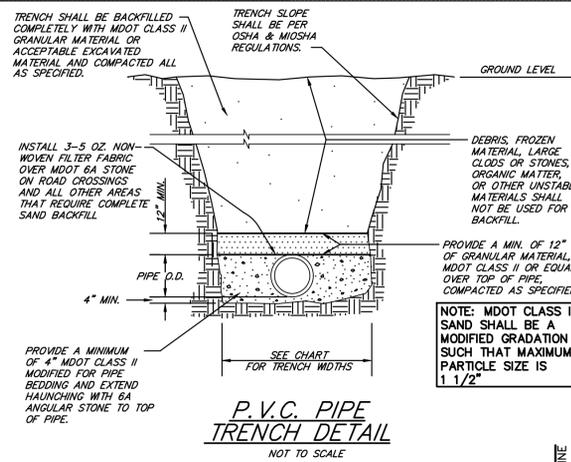


WATER PLAN & PROFILE
JBS CONSTRUCTION
 PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4
 OF SECTION 13, T14N-R04W,
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

2257 EAST BROOMFIELD ROAD
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REVISIONS:

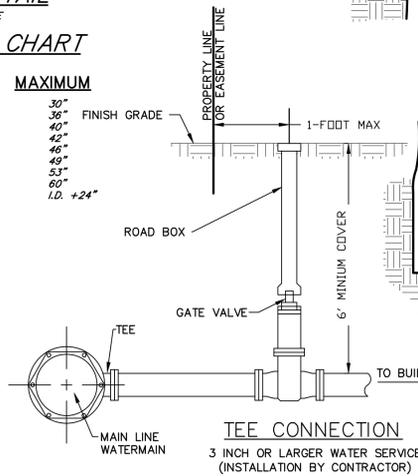
JOB NUMBER:	2210-129
SCALE:	VARIES
SUBMITTAL TO CLIENT FOR REVIEW:	1-18-23
DRAWN BY:	BTM
SUBMITTAL TO UNION TWP. PLANNING:	1-30-23
DESIGNED BY:	TELB
CHECKED BY:	TELB
SHEET NUMBER:	9 OF 14



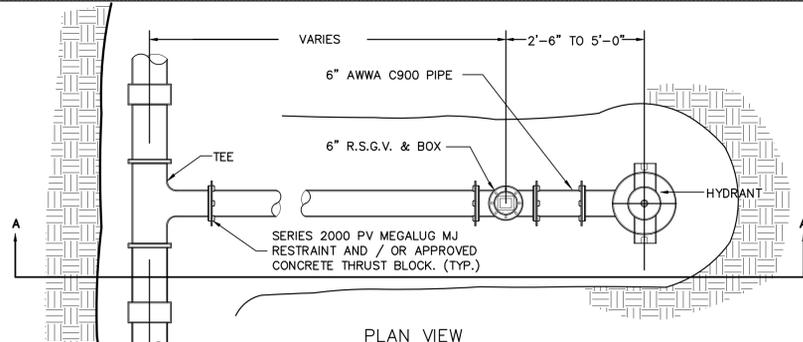
P.V.C. PIPE TRENCH DETAIL
NOT TO SCALE

TRENCH WIDTH CHART

PIPE SIZE	MINIMUM	MAXIMUM
8" & 10"	24"	30"
12" & 15"	30"	36"
18"	34"	40"
21"	38"	42"
24"	42"	46"
27"	45"	49"
30"	48"	53"
36"	56"	60"
LARGER THAN 36"	I.D. + 20"	I.D. + 24"

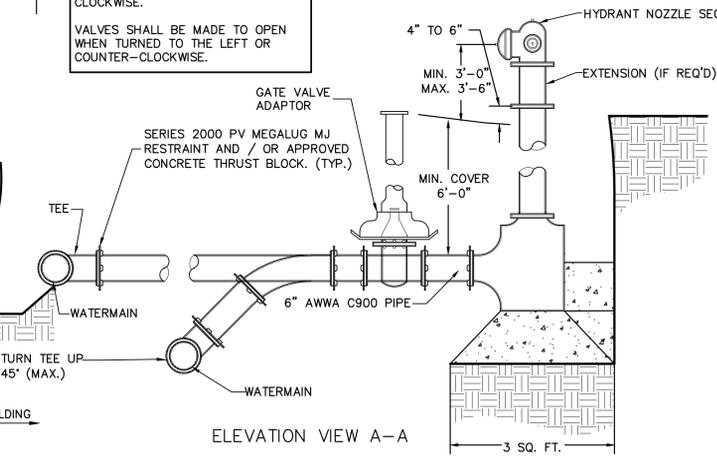


TEE CONNECTION
3 INCH OR LARGER WATER SERVICE (INSTALLATION BY CONTRACTOR)



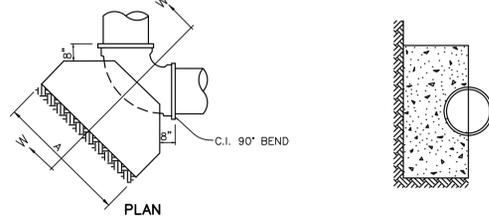
PLAN VIEW

NOTE: HYDRANTS SHALL BE BUILT TO OPEN WHEN TURNED TO THE RIGHT OR CLOCKWISE.
VALVES SHALL BE MADE TO OPEN WHEN TURNED TO THE LEFT OR COUNTER-CLOCKWISE.



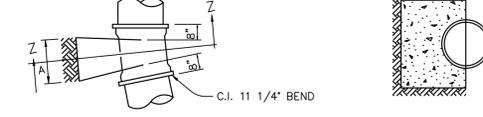
TYPICAL HYDRANT CONNECTION
NOT TO SCALE

PIPE SIZE	90° BEND OR TEE				45° BEND				22 1/2° BEND				11 1/4° BEND				PLUG			
	A	B	C	Q	A	B	C	Q	A	B	C	Q	A	B	C	Q	A	B	C	Q
6", 8" & 10"	3'-0"	2'-0"	1'-3"	0.3	2'-0"	1'-6"	1'-3"	0.1	1'-6"	1'-0"	1'-3"	0.1	1'-0"	1'-0"	1'-3"	0.1	2'-0"	2'-0"	1'-6"	0.2
12"	3'-0"	2'-6"	1'-6"	0.4	2'-0"	2'-0"	1'-6"	0.2	2'-0"	1'-0"	1'-6"	0.1	1'-0"	1'-0"	1'-6"	0.1	2'-0"	2'-6"	1'-6"	0.3



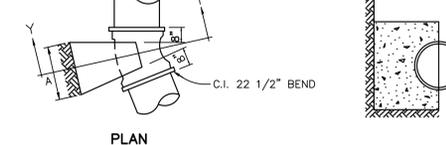
DETAIL OF BLOCK FOR 90° BEND OR TEE

Q - MIN. CU. YD. CONCRETE PER BLOCK NOT TO SCALE



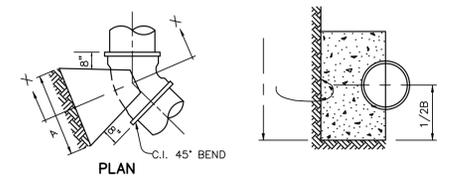
DETAIL OF BLOCK FOR 11 1/4° BEND

Q - MIN. CU. YD. CONCRETE PER BLOCK NOT TO SCALE



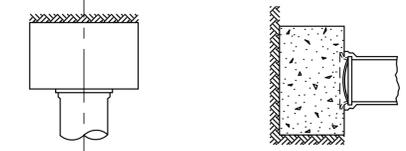
DETAIL OF BLOCK FOR 22 1/2° BEND

Q - MIN. CU. YD. CONCRETE PER BLOCK NOT TO SCALE



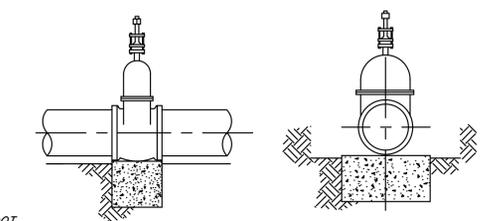
DETAIL OF BLOCK FOR 45° BEND

Q - MIN. CU. YD. CONCRETE PER BLOCK NOT TO SCALE



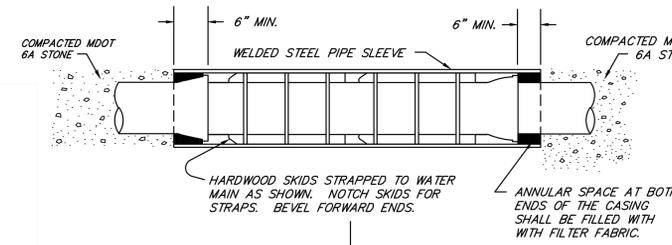
DETAIL OF BLOCK FOR PLUG

Q - MIN. CU. YD. CONCRETE PER BLOCK NOT TO SCALE



DETAIL OF BLOCK FOR GATE VALVES

NOT TO SCALE



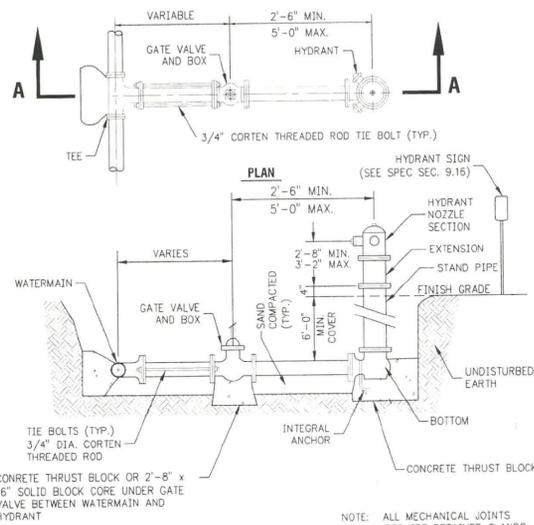
WATER MAIN IN SLEEVE DETAIL
NOT TO SCALE

3 EACH 2"x2" HARDWOOD CONTINUOUS SKIDS BANDO TO THE PIPE WITH 5/8" WIDE STAINLESS STEEL BANDING.

NOTE: PRESSURE TREATED LUMBER MAY BE SUBSTITUTED FOR HARDWOOD SKIDS AT THE CONTRACTORS OPTION.

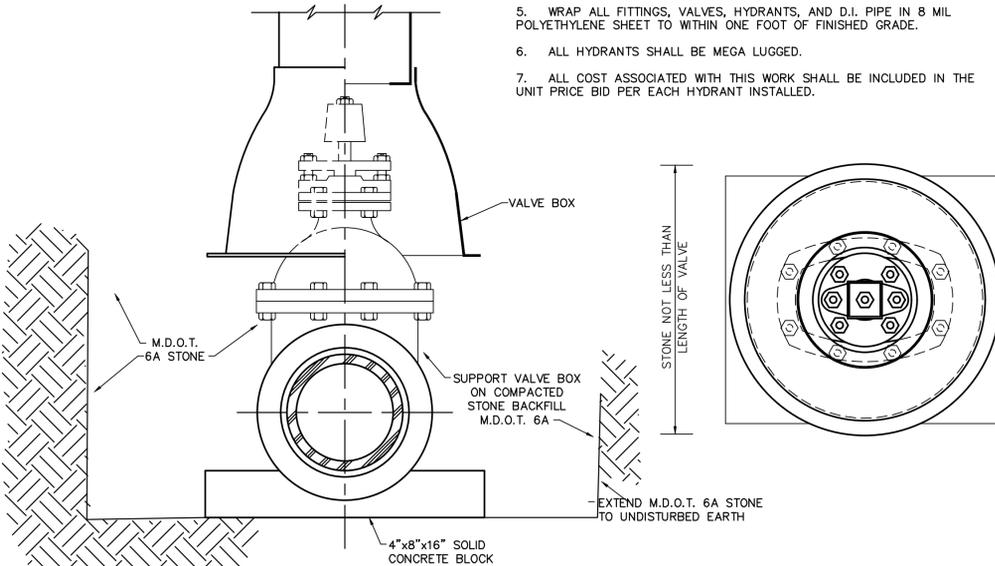
NOTES:

- THE CONCRETE USED FOR BLOCKING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS.
- THE CONTRACTOR SHALL SECURE ALL VERTICAL BENDS WITH A MINIMUM OF 2/3/4" ANCHOR RODS FITTING EITHER CONCRETE BLOCK, WELDED STEEL PIPE SLEEVE OR COLLARS. METHOD USED SHALL BE DETERMINED BY THE ENGINEER.
- ALL BENDS SHALL BE MECHANICAL JOINT.
- ALL FERROUS PARTS SHALL RECEIVE A 10 MIL (DMT) COATING OF COAL TAR EPOXY.
- WRAP ALL FITTINGS, VALVES, HYDRANTS, AND D.I. PIPE IN 8 MIL POLYETHYLENE SHEET TO WITHIN ONE FOOT OF FINISHED GRADE.
- ALL HYDRANTS SHALL BE MEGA LUGGED.
- ALL COST ASSOCIATED WITH THIS WORK SHALL BE INCLUDED IN THE UNIT PRICE BID PER EACH HYDRANT INSTALLED.



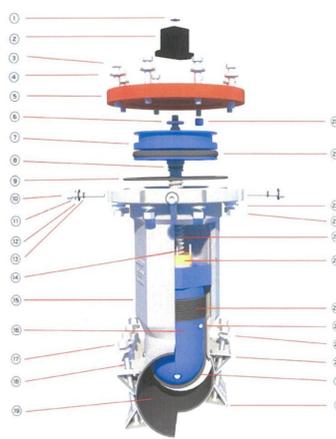
SECTION A-A HYDRANT ASSEMBLY DETAIL
NO SCALE

NOTE: ALL MECHANICAL JOINTS REQUIRE RETAINER GLANDS



DETAIL OF SETTING OF VALVE BOXES
NOT TO SCALE

PRODUCT CUT SHEET
4"-12" Insta-Valve 250 - AIS Compliant



ITEM	DESCRIPTION	MATERIAL	QTY
1	OPERATING NUT ATTACHING NUT	304 STAINLESS STEEL*	1
2	OPERATING NUT	STEEL, CAST	1
3	BONNET BOLTS 4"-8"	304 STAINLESS STEEL*	8
3	BONNET BOLTS 10"-12"	304 STAINLESS STEEL*	12
4	BONNET WASHERS 4"-8"	304 STAINLESS STEEL*	36
4	BONNET WASHERS 10"-12"	304 STAINLESS STEEL*	24
5	BONNET	EPOXY COATED CARBON STEEL	1
6	THRUST WASHER	TEFLON	1
7	COMPLETION PLUG	REINFORCED COMPOSITE POLYMER	1
8	VALVE STEM O-RING	RUBBER, BUTA-N	1
9	FLANGE O-RING 4"-12"	RUBBER, BUTA-N	1
10	COMPLETION PIN 4"-8"	304 STAINLESS STEEL*	4
10	COMPLETION PIN 10"-12"	304 STAINLESS STEEL*	6
11	COMPLETION PIN WASHER 4"-8"	304 STAINLESS STEEL	4
11	COMPLETION PIN WASHER 10"-12"	304 STAINLESS STEEL	6
14	COMPLETION PIN WASHER 4"-8"	RUBBER, BUTA-N	4
14	COMPLETION PIN WASHER 10"-12"	RUBBER, BUTA-N	6
14	COMPLETION PIN O-RING 4"-8"	RUBBER, BUTA-N	4
14	COMPLETION PIN O-RING 10"-12"	RUBBER, BUTA-N	6
14	VALVE PIN 4"-12"	STAINLESS STEEL	4
15	W 250 VALVE BODY	304 STAINLESS STEEL	1
16	W 250 CARTRIDGE	REINFORCED COMPOSITE POLYMER	1
17	BODY MOUNT NUTS 4"-6"	304 STAINLESS STEEL*	8
17	BODY MOUNT NUTS 8"	304 STAINLESS STEEL*	10
17	BODY MOUNT NUTS 10"-12"	304 STAINLESS STEEL*	14
18	BODY MOUNT CARRIAGE BOLTS 4"-6"	304 STAINLESS STEEL*	8
18	BODY MOUNT CARRIAGE BOLTS 8"	304 STAINLESS STEEL*	10
18	BODY MOUNT CARRIAGE BOLTS 10"-12"	304 STAINLESS STEEL*	14
19	BODY SEALING GASKET	RUBBER, BUTA-N	1
20	CHECK VALVE NPT PLUG	304 STAINLESS STEEL	1
21	COMPLETION PLUG O-RING	RUBBER, BUTA-N	1
21	BONNET WASHERS 4"-8"	304 STAINLESS STEEL	8
21	BONNET WASHERS 10"-12"	304 STAINLESS STEEL	12
23	BONNET NUTS 4"-8"	304 STAINLESS STEEL*	8
23	BONNET NUTS 10"-12"	304 STAINLESS STEEL*	12
24	VALVE STEM	304 STAINLESS STEEL	1
25	STEM COLLAR	NO LEAD BRASS	1
26	CARTRIDGE SEAL	EPOXY	1
27	WEDGE BOLT	STAINLESS STEEL 304	1
28	BODY MOUNT WASHERS 4"-6"	304 STAINLESS STEEL	8
28	BODY MOUNT WASHERS 8"	304 STAINLESS STEEL	10
28	BODY MOUNT WASHERS 10"-12"	304 STAINLESS STEEL	14
29	MONUMENTING BODY - TOP	304 STAINLESS STEEL	1
30	RESILIENT WEDGE	EPOXY	1
31	MONUMENTING BODY - BOTTOM	304 STAINLESS STEEL	1

Weights and Dims

Size	A	B	C	D	Approx. Weight
4"	12"	18 1/2"	8 1/2"	13 1/2"	138 lbs
6"	12"	18 1/2"	8 1/2"	13 1/2"	178 lbs
8"	10"	14 1/2"	8 1/2"	11 1/2"	129 lbs
10"	10"	14 1/2"	8 1/2"	11 1/2"	170 lbs
12"	10"	14 1/2"	8 1/2"	11 1/2"	210 lbs

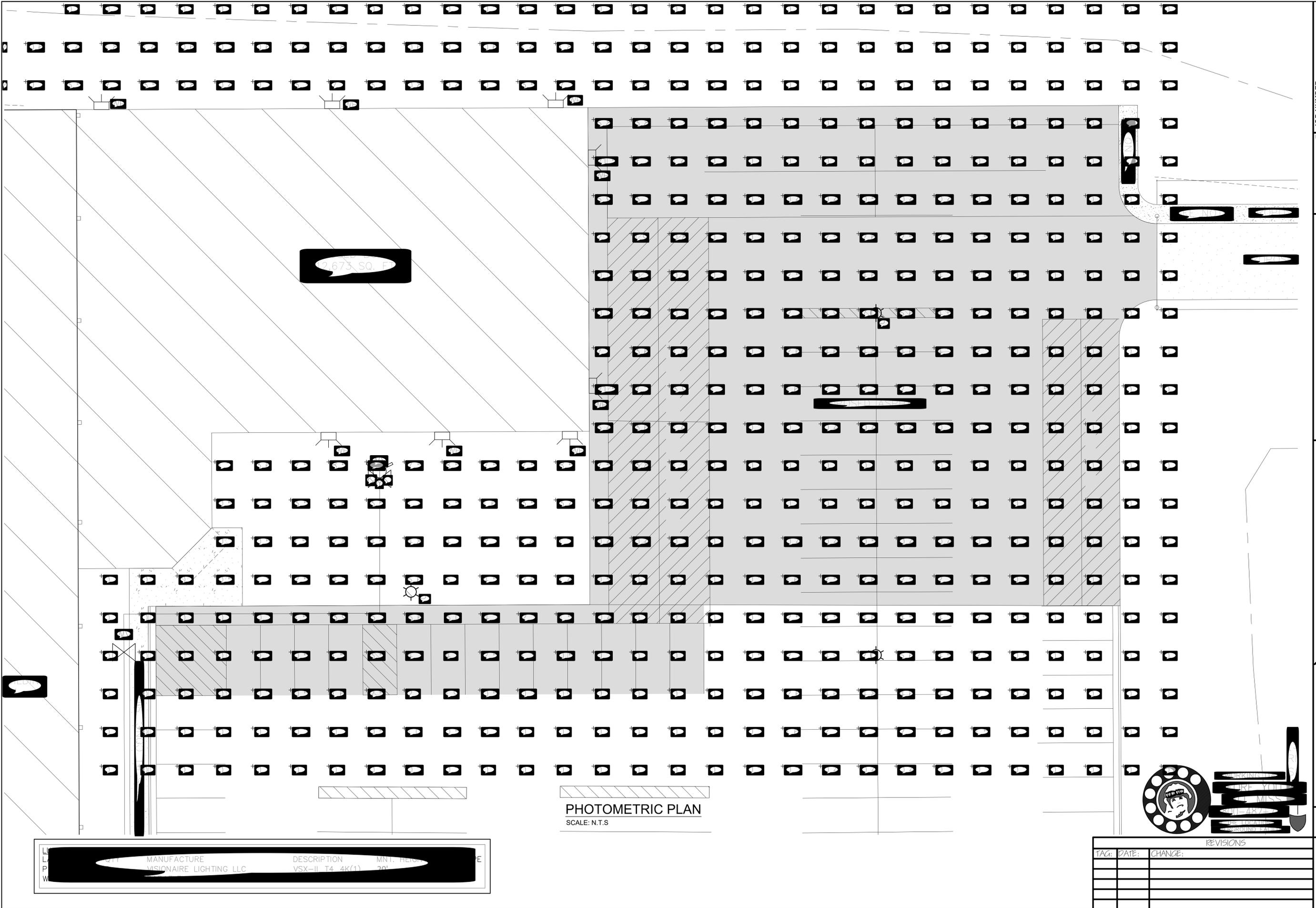
Other Specifications
Valve Body Minimum Test Pressure: 1.5 times system working pressure
Valve Body Maximum Test Pressure: 375 psi
Maximum Working Pressure: 250 psi
Materials: "Buy America", "Made in USA", "Buy America", and "Steel Case Iron and Steel Nut" provisions.
The 4"-12" Insta-Valve 250 is NSFANSI Standard 61 and NSFANSI Standard 372 to meet the regulatory requirements for the U.S. and Canada, ensuring safe use in drinking water systems.
*Dimensions: stainless steel hardware included. Coated to prevent galling.
Proprietary Information: This property of Hydra-Stop shall not be used, reproduced, or distributed without written consent. All design and invention rights are reserved. Covered by United States Patent No. 9,829,141.B2 and United States Patent No. 9,644,775.B2. Additional patents pending. Specifications subject to change without notice.
Publication Date: May 2022



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WATERMAIN DETAILS
JBS CONSTRUCTION
PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 13, T14N-R04W, MICHIGAN UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

SCALE	JOB NUMBER:	SUBMITTAL TO CLIENT FOR REVIEW:	SUBMITTAL TO UNION TWP. PLANNING:	DESIGNED BY:	CHECKED BY:
N/A	2210-129	1-18-23	1-30-23	BTM	TEL
	SHEET NUMBER	10 of 14			



PHOTOMETRIC PLAN
SCALE: N.T.S.

LT	MANUFACTURE	DESCRIPTION	MNT. HEIGHT
VISIONAIRE LIGHTING LLC	VSX-II T4 4K(1)		20'

REVISIONS		
TAG	DATE	CHANGE

JOB NUMBER:
DRAWING: PHOTOMETRIC
DRAWN BY: HCN
REVIEWED BY:
FIELD SUPERVISOR:
DATE: 1/26/2023

ENGINEER'S SEAL:

SPORTSPLEX
GYMNASTICS
MT. PLEASANT, MI 48858

JBS Contracting Inc.
COMMERCIAL/INDUSTRIAL
CONSTRUCTION
1680 COVER PARKWAY
MT. PLEASANT, MI 48858
(989) 773-0770

SCALE:
N.T.S.

E4
SPORTSPLEX
GYMNASTICS

CLASSIC SERIES



DCST

CUT-OFF LED WALLPACK LUMINAIRE



AVAILABLE IN QUICKSHIP



FULL CUT-OFF, HEAVY-DUTY HOUSING

The DCST is a 14" Trapezoidal Wallpack with a Die Cast Aluminum Body and Impact Resistant Glass Lens.

WET LOCATION, IP-65 RATED

Engineered and Constructed for Exterior Environments

EASY TO INSTALL MOUNTING

The DCST can be Directly Mounted onto an Existing 4" Outlet Box with a 4" x 4" Gasketed Wall Plate

120-277V STANDARD TYPE V DISTRIBUTION

OPERATING TEMPERATURE -20C TO 40C

DC -40C with EM Pack Option

PRODUCT APPLICATIONS

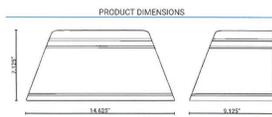
- Building Entrances
- Walkways
- Tunnels
- Loading Docks
- Bridges
- Catwalks
- Stairwells

ORDERING GUIDE

MODEL	WATTAGE	COLOR TEMPERATURE (CCT)	HOUSING COLOR	OPTIONS & ACCESSORIES
DCST	12W 12 WATTS	27K 2700K - WARM WHITE	BZ BRONZE (STANDARD)	MS MOTION SENSOR
	24W 24 WATTS	30K 3000K - WARM WHITE	WH WHITE	MS-D2 MOTION SENSOR WITH BLUE DIMMING
	36W 36 WATTS	35K 3500K - NEUTRAL WHITE	BL BLACK	D1 0-10V DIMMING
	48W 48 WATTS	40K 4000K - NEUTRAL WHITE	SL SILVER	D2 0-10V DIMMING (20% ON/OFF)
	60W 60 WATTS	50K 5000K - COOL WHITE	CC CUSTOM COLOR	EM EMERGENCY BATTERY PACK
	72W 72 WATTS	57K 5700K - DAYLIGHT		V1* 0-10V DIMMING (20% ON/OFF)

PRODUCT SPECIFICATIONS

NOMINAL WATTAGE	SYSTEM WATTAGE	CCT	LUMENS	EFFICACY	ULC V5.0 LISTING
12W	12.6W	2700K	1,500 LM	119.75	PREMIUM
12W	12.6W	3000K	1,500 LM	119.75	PREMIUM
12W	12.6W	3500K	1,500 LM	119.75	PREMIUM
12W	12.6W	4000K	1,500 LM	119.75	PREMIUM
12W	12.6W	5000K	1,500 LM	119.75	PREMIUM
12W	12.6W	5700K	1,500 LM	119.75	PREMIUM
24W	25.2W	2700K	3,000 LM	119.75	PREMIUM
24W	25.2W	3000K	3,000 LM	119.75	PREMIUM
24W	25.2W	3500K	3,000 LM	119.75	PREMIUM
24W	25.2W	4000K	3,000 LM	119.75	PREMIUM
24W	25.2W	5000K	3,000 LM	119.75	PREMIUM
24W	25.2W	5700K	3,000 LM	119.75	PREMIUM
36W	37.8W	2700K	4,500 LM	119.75	PREMIUM
36W	37.8W	3000K	4,500 LM	119.75	PREMIUM
36W	37.8W	3500K	4,500 LM	119.75	PREMIUM
36W	37.8W	4000K	4,500 LM	119.75	PREMIUM
36W	37.8W	5000K	4,500 LM	119.75	PREMIUM
36W	37.8W	5700K	4,500 LM	119.75	PREMIUM
48W	50.4W	2700K	6,000 LM	119.75	PREMIUM
48W	50.4W	3000K	6,000 LM	119.75	PREMIUM
48W	50.4W	3500K	6,000 LM	119.75	PREMIUM
48W	50.4W	4000K	6,000 LM	119.75	PREMIUM
48W	50.4W	5000K	6,000 LM	119.75	PREMIUM
48W	50.4W	5700K	6,000 LM	119.75	PREMIUM
60W	63.0W	2700K	7,500 LM	119.75	PREMIUM
60W	63.0W	3000K	7,500 LM	119.75	PREMIUM
60W	63.0W	3500K	7,500 LM	119.75	PREMIUM
60W	63.0W	4000K	7,500 LM	119.75	PREMIUM
60W	63.0W	5000K	7,500 LM	119.75	PREMIUM
60W	63.0W	5700K	7,500 LM	119.75	PREMIUM
72W	75.6W	2700K	9,000 LM	119.75	PREMIUM
72W	75.6W	3000K	9,000 LM	119.75	PREMIUM
72W	75.6W	3500K	9,000 LM	119.75	PREMIUM
72W	75.6W	4000K	9,000 LM	119.75	PREMIUM
72W	75.6W	5000K	9,000 LM	119.75	PREMIUM
72W	75.6W	5700K	9,000 LM	119.75	PREMIUM



POWER FACTOR >0.90 - THD <20

A 3 Luga Rd. #1 - Dewette, NJ 07834 E info@paraflex.com W www.paraflex.com P 973-581-6100



Control Number: ARLA-VSX-II-AK-08_19_2022

VSX-II ARRAY LED Specifications

VSX-II ARRAY - CUTOFF LOUVER SHIELD 3K LUMEN DATA *Not to be used with KM											
Lumens	T1	T2	T3	T3L	T4	T4L	T4A	T5SR	T5LR	T5LS	Watts
5L	3576	3639	3730	3506	3463	3469	3747	3631	3298	3489	34
10L	6883	7004	7179	6748	6667	6677	7211	6988	6347	6715	70
15L	10203	10592	11208	10591	10453	10481	11317	10967	9992	10539	102
20L	13923	14167	14621	13849	13484	13507	14585	14134	12838	13582	134
25L	17212	17514	17952	16874	16370	16398	18031	17474	15872	16792	167

VSX-II ARRAY LED Specifications

Twist lock Photocell & Receptacle - Dusk to dawn sensor. Photocell Receptacle and Shorting Cap

Round Pole Plate Adaptor (RPP) - Round Pole Plate Adaptor (RPP) to be used with round pole. Cast Wall Plate - Arm Mount Wall Plate is needed to wall mount the VSX-II.

Motion Sensor - *This option will require one FSIR 100 remote for programming. *Motion Sensor for Arm Mount (AM) Configuration shown. *Motion Sensor for Standard Arm Mount (SAM), Universal Arm Mount (UAM), Mast Arm Mount (MAF), Knuckle Mount (KM), Adjustable Wall Mount (AWM), Wall Mount (WM) Configuration shown.

The FSP-211 by Legrand is integrated into the VSX housing and provides multi-level control based on motion and/or daylight contribution.

Lens Coverage Patterns:	
WSC-6	360° lens, maximum coverage 48" diameter from 8' height
WSC-20	360° lens, maximum coverage 48" diameter from 20' height
WSC-40	360° lens, maximum coverage 100" diameter from 40' height

Motion Sensor Default Settings	
High Mode	0 Volts
Low Mode	1 Volts
Time Delay	5 Minutes
Cut Off	1 Hour
Sensitivity	Maximum
Hold Off Set Point	4ft
Candles	N/A
Ramp Up	None
Fade Down	None
Force Off Set Point With Occupied	Disable



VL-PA-ING-001-F37 REV. 0 CRCABR22-03



VL-PA-ING-001-F37 REV. 0 CRCABR22-03

Control Number: ARLA-VSX-II-AK-08_19_2022

VSX-II ARRAY LED Specifications

Arm Mount (AM)
The Arm Mount (AM) utilizes a 2 piece cleat system for easy installation. A terminal block is supplied as standard. A Round Pole Plate Adaptor (RPP) is required for mounting to round poles.

Straight Arm Mount (SAM)
The Straight Arm Mount (SAM) uses a 2 piece mounting system. A terminal block is supplied as standard. A Round Pole Plate Adaptor (RPP) is required for mounting to round poles.

Universal Arm Mount (UAM)
The Universal Arm Mount (UAM) is meant for retrofit Applications and has a drilling template ranging from 3" to 5.5". A Round Pole Plate Adaptor (RPP) is required for mounting to round poles.



VL-PA-ING-001-F37 REV. 0 CRCABR22-03

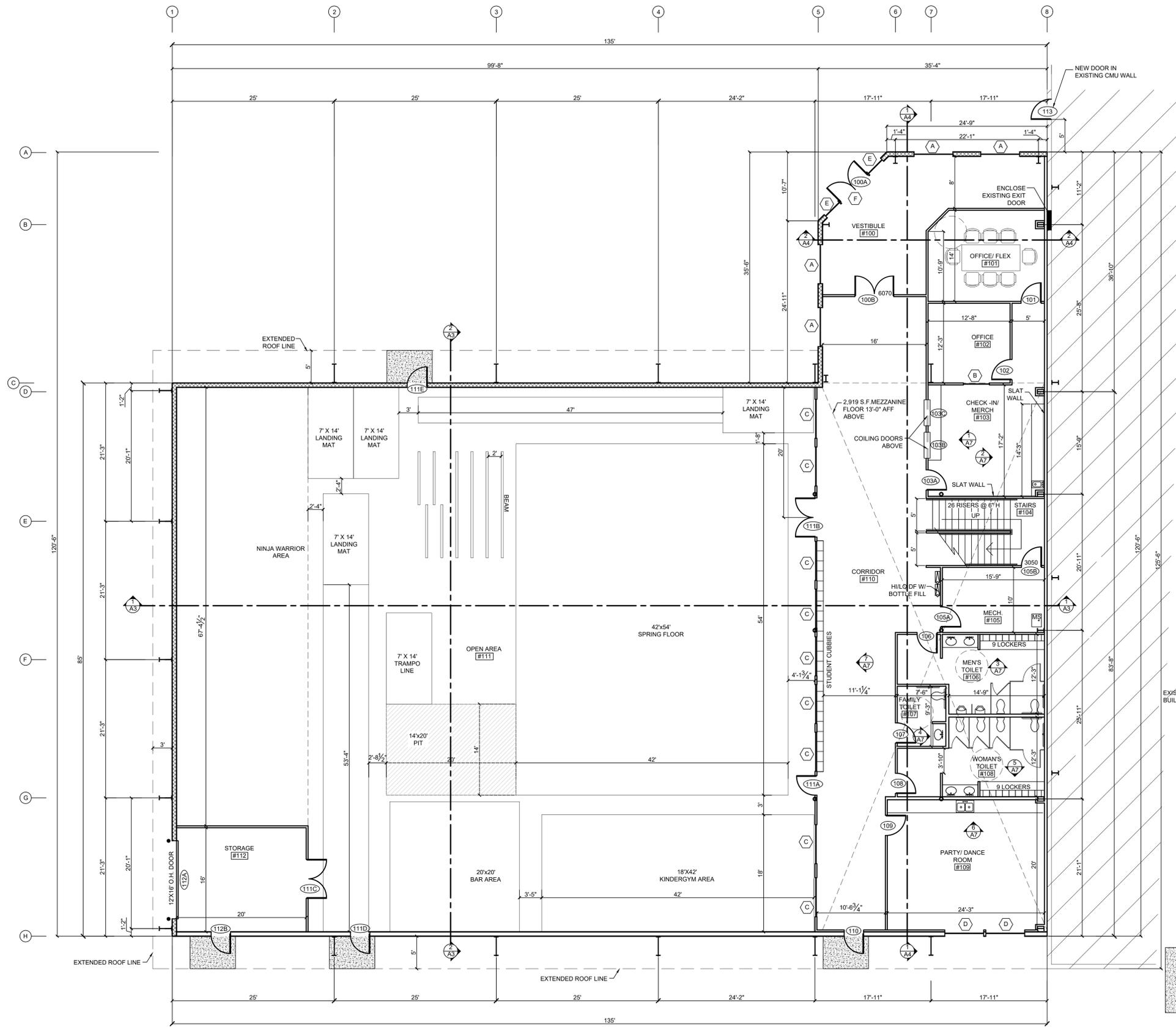
Control Number: ARLA-VSX-II-AK-08_19_2022

VSX-II Array LED Specifications

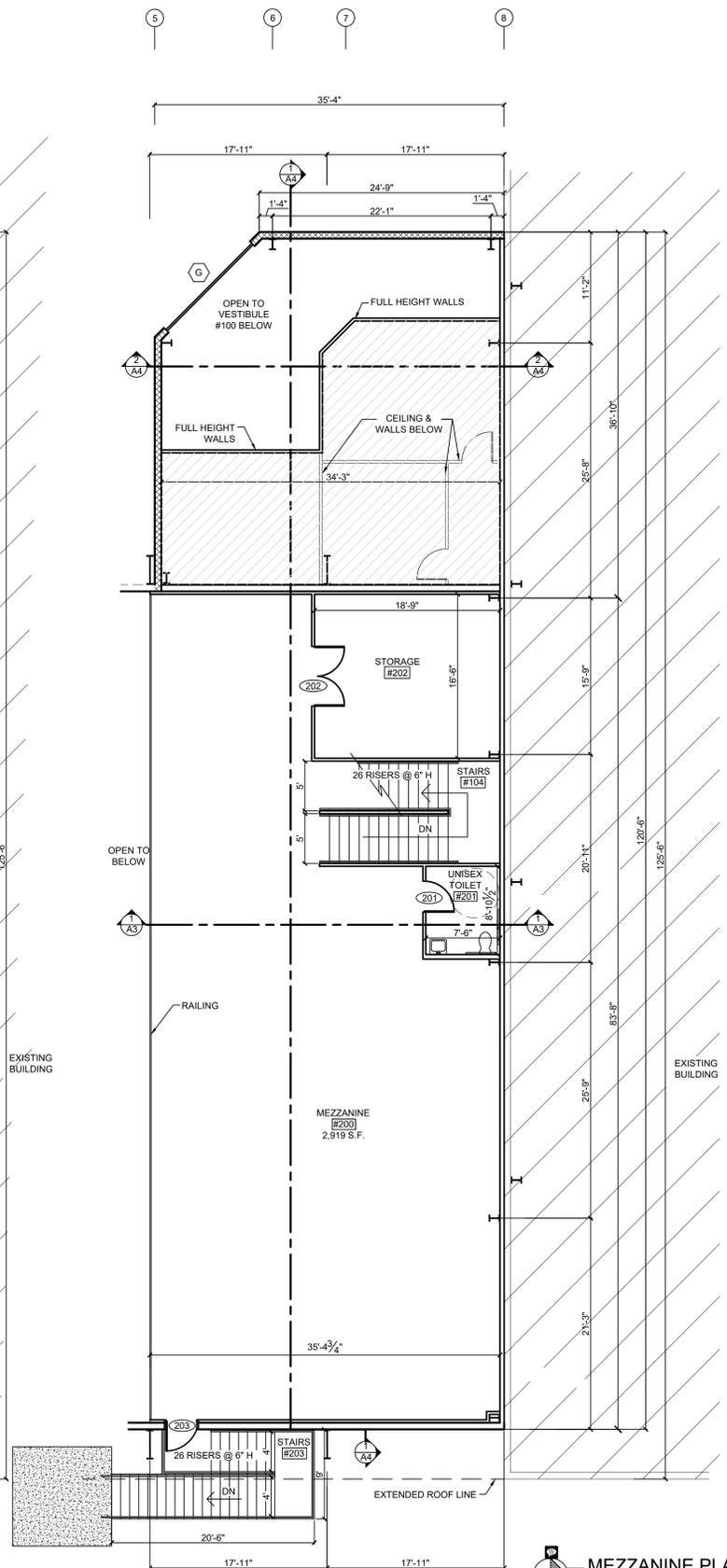
*Universal Arm Mount (UAM) Version Shown.

Ordering Information

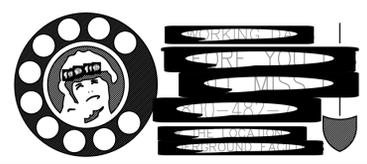
MODEL	OPTICS	LUMENS	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS	OPTIONS
VSX-II	T1 Type 1	5L	3K 3000K	UNV 120-277V	AM Arm Mount	BZ Bronze	PCR-120 Motion Sensor 8' Mounting Height	WSC-6 Motion Sensor 8' Mounting Height	UPMA-S Universal Mount Pole Mount Adaptor
	T2 Type 2	10L	4K 4000K	8 347V	SAM Straight Arm Mount W/ Terminal Block (Pole Construction)	BK Black	PCR-208 Motion Sensor 8' Mounting Height	WSC-20 Motion Sensor 20' Mounting Height	UPMA-R Universal Mount Pole Mount Adaptor
	T3 Type 3	15L	5K 5000K	5 480V	SBK Smooth Black	SWH Smooth White	PCR-240 Motion Sensor 8' Mounting Height	WSC-40 Motion Sensor 40' Mounting Height	ROT-R Rotatable Optics Right Side
	T3L Type 3 Long	20L	5K 5000K		SWH Smooth White	SWH Smooth White	PCR-277 Motion Sensor 8' Mounting Height	WSC-40 Motion Sensor 40' Mounting Height	ROT-L Rotatable Optics Left Side
	T4 Type 4	25L			UAM Universal Arm/ Terminal Block Mount (Retrofit)	WH White	PCR-347 Motion Sensor 8' Mounting Height	WSC-40 Motion Sensor 40' Mounting Height	ROT-R Rotatable Optics Right Side
	T4L Type 4 Long				MAF Mast Arm Fitter	SWH Smooth White	PCR-480 Motion Sensor 8' Mounting Height	WSC-40 Motion Sensor 40' Mounting Height	ROT-L Rotatable Optics Left Side
	T4A Type 4 Automotive				KM Knuckle Mount	GP Graphite	SPINPER 3.5" x 2" Pin Mounting	WSC-40 Motion Sensor 40' Mounting Height	ROT-R Rotatable Optics Right Side
	T5SR Type 5 Short Round				UM Wall Mount *Requires SAWP	GY Grey	7PINPER 3.5" x 2" Pin Mounting	WSC-40 Motion Sensor 40' Mounting Height	ROT-L Rotatable Optics Left Side
	T5LR Type 5 Long Round				AWM Adjustable Wall Mount	SL Silver Metallic	DIM 0-10V Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-R Rotatable Optics Right Side
	T5LS Type 5 Long Square				CC Custom Color	CC Custom Color	UMAP Universal Mast arm filler	WSC-40 Motion Sensor 40' Mounting Height	ROT-L Rotatable Optics Left Side
					*Round Pole Plate Adaptors (RPP) are to be ordered separately. *BAWP to be ordered separately.		CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-R Rotatable Optics Right Side
							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-L Rotatable Optics Left Side
							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-R Rotatable Optics Right Side
							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-L Rotatable Optics Left Side
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							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-R Rotatable Optics Right Side
							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-L Rotatable Optics Left Side
							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-R Rotatable Optics Right Side
							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-L Rotatable Optics Left Side
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							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-L Rotatable Optics Left Side
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							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-R Rotatable Optics Right Side
							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-L Rotatable Optics Left Side
							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-R Rotatable Optics Right Side
							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-L Rotatable Optics Left Side
							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-R Rotatable Optics Right Side
							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-L Rotatable Optics Left Side
							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-R Rotatable Optics Right Side
							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-L Rotatable Optics Left Side
							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-R Rotatable Optics Right Side
							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-L Rotatable Optics Left Side
							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-R Rotatable Optics Right Side
							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-L Rotatable Optics Left Side
							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-R Rotatable Optics Right Side
							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-L Rotatable Optics Left Side
							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-R Rotatable Optics Right Side
							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-L Rotatable Optics Left Side
							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-R Rotatable Optics Right Side
							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-L Rotatable Optics Left Side
							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-R Rotatable Optics Right Side
							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	ROT-L Rotatable Optics Left Side
							CLD CLD Dimming Driver	WSC-40 Motion Sensor 40' Mounting Height	



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



MEZZANINE PLAN
SCALE: 1/8" = 1'-0"



REVISIONS		
TAG:	DATE:	CHANGE:

JOB NUMBER:
DRAWING: FLOOR PLAN
DRAWN BY: DKG
REVIEWED BY:
FIELD SUPERVISOR:
DATE: 12/5/2022

ENGINEER'S SEAL:

**SPORTSPLEX
GYMNASTICS**
MT. PLEASANT, MI 48858

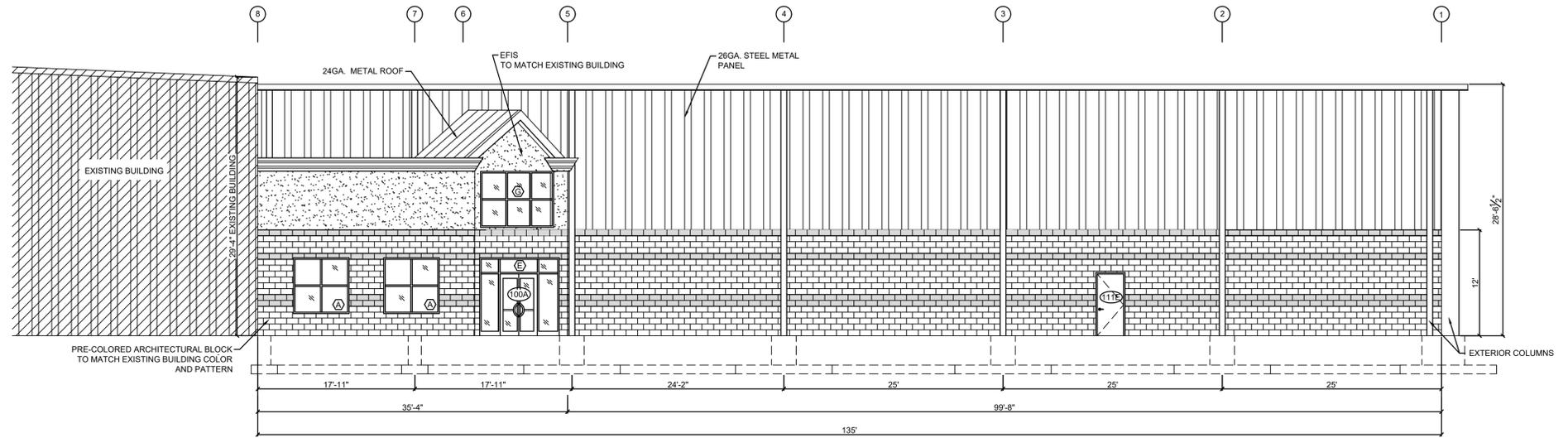
JBS Contracting Inc.
COMMERCIAL/INDUSTRIAL
CONSTRUCTION
1680 COVER PARKWAY
MT. PLEASANT, MI 48858
(989) 773-0770

SCALE:
1/8" = 1'-0"

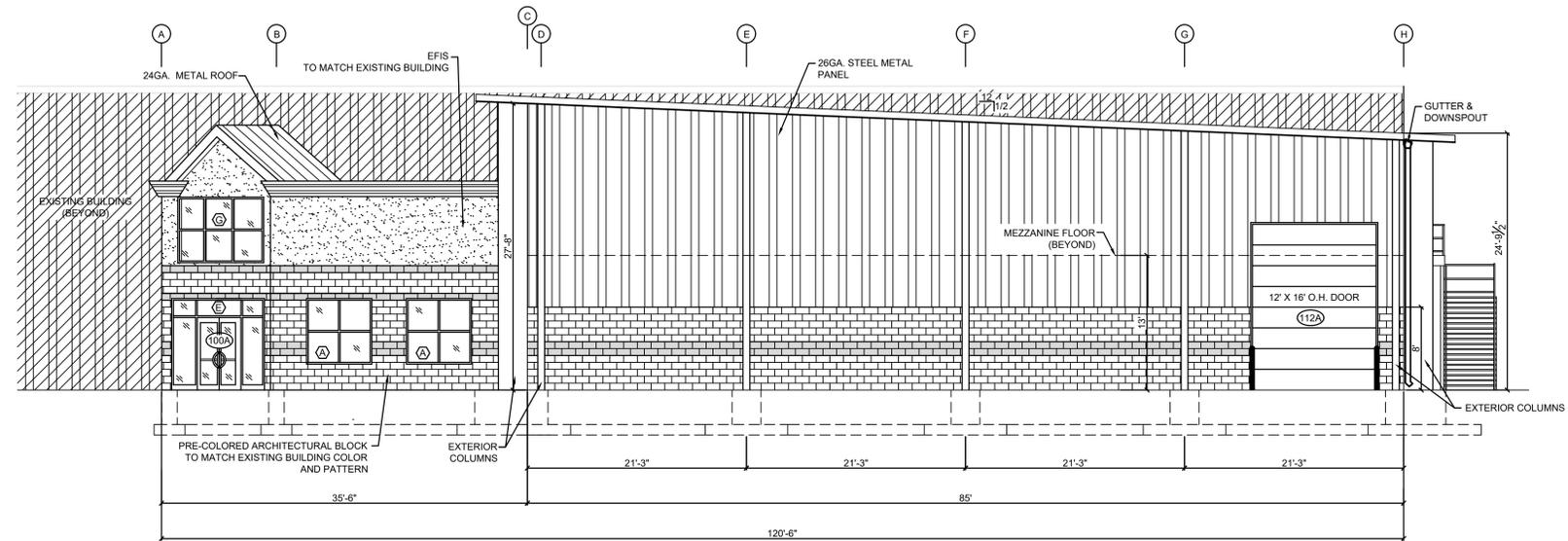
A1
SPORTSPLEX
GYMNASTICS



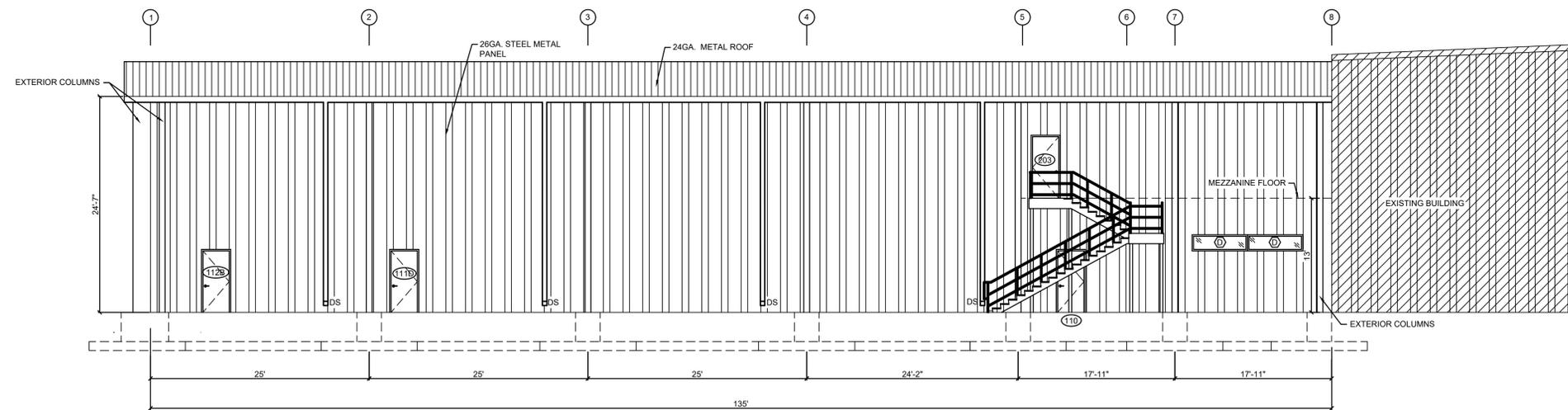
MAIN ENTRANCE ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

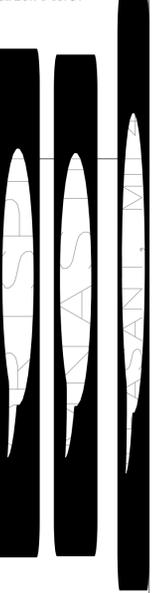


SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



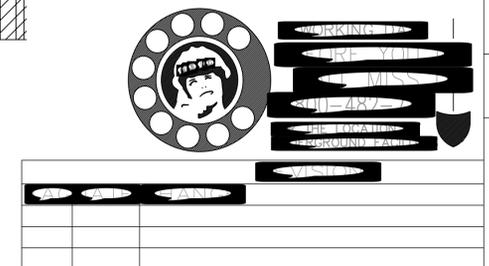
EAST ELEVATION
SCALE: 1/8" = 1'-0"

JOB NUMBER:
DRAWING: ELEVATIONS
DRAWN BY: DKG
REVIEWED BY:
FIELD SUPERVISOR:
DATE: 12/8/2022



COMMERCIAL/INDUSTRIAL
CONSTRUCTION

JBS Contracting Inc.



A2

COMBINED PRELIMINARY - FINAL SITE PLAN REPORT

TO:	Planning Commission	DATE:	February 13, 2023
FROM:	Peter Gallinat, Zoning Administrator	ZONING:	B-4 General Business District
PROJECT:	PSPR23-02 Combined Preliminary - Final Site Plan Application – Isabella County Cultural and Recreational Commission Gymnastics addition.		
PARCEL(S):	5785 E. Broadway Road, PID 14-013-30-03-00		
OWNER(S):	Isabella County Cultural and Recreational Commission (Morey Courts)		
LOCATION:	Approximately 21.06 acres on the north side of E. Remus Road in the SW ¼ of Section 13		
EXISTING USE:	Indoor Recreation	ADJACENT ZONING:	B-4, R-4, R-2A
FUTURE LAND USE DESIGNATION:	<u>Recreation/Institutional</u> . This category is designated primarily for indoor/outdoor recreation both private and publicly owned.		
ACTION:	To review and take action on the updated PSPR23-02 combined preliminary and final site plan dated January 30, 2023 for the Morey Courts Recreation Center Expansion located at 5175 E. Remus Road in the SW 1/4 of Section 13 and in the B-4 (General Business) District.		

Site Plan Approval Process

Per Section 14.2.C. of the Zoning Ordinance, both preliminary site plan approval and final site plan approval are required for this project. Per Section 14.2.J., approval of a preliminary site plan by the Planning Commission “shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas.” Planning Commission approval of a final site plan “constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met” (Section 14.2.L.). Documentation of applicable outside agency permits and approvals will be required as part of a final site plan application.

Background Information

The Morey Courts Recreation Center is operated by Isabella County Cultural and Recreational Commission and is part of the Isabella Sportsplex that also includes the Martin ICE Arena. The Sportsplex hosts regional tournaments and other events, and offers numerous indoor recreation opportunities to both resident and visitors of Isabella County.

Gymnastics has also been one of the available activities, but there currently is not a dedicated area in the Morey Courts building so the equipment must be installed and taken down between events. This expansion would establish a dedicated area for gymnastics activities, classes, and events.

Section 12.5 Non-Conforming Sites

The existing site was built before the current site development regulations for landscaping in Zoning Ordinance 20-06 were adopted, so this is considered to be a “nonconforming site” subject to the provisions of Section 12.5 (Nonconforming Sites) of the Zoning Ordinance. Under this Section, “*Nonconforming sites may be improved or modified without a complete upgrade of all site elements,*” provided that certain public safety deficiencies are resolved and the scope of improvements includes at least three (3) of the menu of 10 broad categories listed in this Section.

The only public safety deficiency noted on the site was the unusually close proximity of the trash storage area to the existing building, which is proposed to be corrected by the applicant as part of this expansion. The applicant has also included five (5) areas of site improvements on the plan:

- #2 Pedestrian Access Improvements: The project proposes sidewalk construction along the E. Remus Road frontage (plus a short section of S. Isabella Rd.), along with interconnecting internal sidewalks to the building from E. Remus Rd.
- #3 Vehicular Access and Circulation Improvements: The plan provides for new bus parking as well as designated entrances separate for buses and traditional car traffic.
- #5 Off-Street Parking or Loading Improvements: The Plan designates loading and unloading areas around the addition along with designated bus parking spaces.
- #6 Landscaping Improvements: The plan focuses on just the area of the expansion. Therefore, there are no parking lot landscaping improvements but there are landscaping improvements based on the linear frontage along Remus Road.
- #9 Drainage and Stormwater Management Improvements: The existing stormwater detention areas need maintenance. The plan calls for this maintenance to be done and future maintenance to be continued to ensure the long-term efficacy of the stormwater management improvements.

Combined Preliminary - Final Site Plan Review Comments

The following comments are based on the standards for the preliminary site plan and final site plan approvals, and the specific elements of the proposed site plan:

1. **Section 14.2.P. (Required Site Plan Information)**. With the exception of details noted elsewhere in this report that could be addressed by the applicant on a revised final site plan submitted for administrative review and acceptance, the site plan can conform to the minimum Section 14.2.P. information requirements for both preliminary and final site plans. **CAN CONFORM**
2. **Section 8 (Environmental Performance Standards)**. The hazardous substance reporting form and EGLE permit checklist form are included in the application materials. **CONFORMS**
3. **Section 9 (Off-Street Parking, Loading Requirements)**. The required parking is 332 spots. There are currently 598 spots available. The proposed expansion only reduces the total

parking by three (3) parking stalls for a new total of 595. The plan adds designated bus parking that currently does not exist. The plan includes a loading and unloading area that meets the size requirements for the addition. **CONFORMS**

4. **Section 9.1.C.5 (Bicycle Parking)** The project requires the installation of short-term bicycle parking, which is missing from the site plan. The parking can be sheltered, but it is not required. Consistent with Section 12.5.D., the number of bicycle parking spaces will need to be able to accommodate at least 5% of the occupancy for the new addition only. The following detail will need to be added to a revised final site plan:

Add the required short-term bicycle parking facilities to the plan per Section 9.1.C.5.

5. **Section 7.10 (Sidewalks and Pathways)**. The applicant has proposed to provide a five (5) foot-wide sidewalk along the E. Remus Road frontage (plus a short section of S. Isabella Rd.). The plan also provides for an internal sidewalk five (5) to seven (7) feet in width around the parking lot from the building addition to E. Remus Rd. Sections that are seven (7) feet in width are intended to accommodate overlap from adjacent parking. If approved, the plan notes that the owner will grant a sidewalk access easement for the construction of a sidewalk along E. Remus Road. This easement will be recoded at the Isabella County Register of Deeds. **CONFORMS**

6. **Section 7.14 (Trash Removal and Collection)**. An existing dumpster is being relocated with an enclosure that meets the requirements of section 7.14. The existing location is shown on sheet 3, with the new location and details on sheet 4. **CONFORMS**

7. **Section 10 (Landscaping and Screening)**. The landscaping page is found on page 8 of 14 of the plans. The plan notes the number of plantings, location and instructions for planting. However, the specific tree and shrub species are missing from the plan. Staff found the scope of proposed landscaping improvements to be consistent with the planned expansion (see Section 12.5.D.). With a reduction in total parking by three (3) spaces no new parking lot landscaping is planned.

The plan does exceed the required project landscaping requirements of Section 10 for road landscaping (five deciduous trees, two ornamental trees and 37 shrubs are required). The plan proposes 12 deciduous trees, three (3) ornamental trees, and 38 shrubs. Staff would have no objection to Planning Commission approval of the scope of proposed landscape improvements as presented, provided that the following details are addressed by the applicant on a revised final site plan:

Add the specific species of trees and shrubs as notes on the landscape plan.

8. **Section 8.2 (Exterior Lighting)**. The plan calls for additional parking lot lighting as well as wall pack lights on the new addition. The information is found on sheet E4 and sheet 12 of the plans. The photometric plan demonstrates that all lighting is under the maximum allowable illumination level of 10-foot-candles. The height of the new light poles conforms with the standards of Section 8.2. **CONFORMS**

9. **Outside agency approvals.** At this time, the Township has received approvals for the project from the, Isabella County Transportation Commission. A report was received from the MPRD but there was a typo and new report is on its way. The applicant has been in contact with the other reviewers for stormwater management, the Road Commission, and the Township’s Public Services Department for water and sewer utilities. However, at this time, no approval letters have been submitted to the Township from these agencies.

- ❑ Since the Fire Department, stormwater management, and Township Public Services Department approvals all have significant potential to impact elements of the final site design, it is the recommendation of staff that any site plan action by the Planning Commission be limited to a preliminary site plan approval.

Objective

The Planning Commission shall review the application materials and site plan, together with any reports and recommendations. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to approve the site plan, to approve the site plan with conditions, to deny the site plan application, or to postpone further consideration of the site plan to a date certain in accordance with Section 14.2.H. of the Zoning Ordinance.

Key Findings

1. With the exception of some details, the site plan substantially conforms to Section 14.2.P. (Required Site Plan Information) for both a preliminary and a final site plan.
2. The site plan is not fully consistent with Section 14.2.S. (Standards for Site Plan Approval) for a final site plan approval, due to missing several key outside agency permits or approvals and also some details (bicycle parking and landscaping), but the site plan is consistent with Section 14.2.S. standards for a preliminary site plan approval action by the Planning Commission.
3. The missing details and outside agency approvals are final site plan requirements and can be addressed by the applicant as part of an updated final site plan submittal for Planning Commission review and final action.

Recommendations

Based on the above findings, I would recommend only preliminary site plan approval as presented for the PSPR 23-02 site plan dated 1/30/2023 for the Morey Courts Expansion located at 5116 E. Remus Road in the SW 1/4 of Section 13 and in the B-4 (General Business) District.

Please contact me at (989) 772-4600 ext. 241, or via email at pgallinat@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Peter Gallinat, Zoning Administrator

Community and Economic Development Department

**Draft Motions: PSPR 23-02 Combined Preliminary - Final Site Plan Review Application
Morey Courts Recreation Center Expansion**

MOTION TO APPROVE THE COMBINED PRELIMINARY – FINAL SITE PLAN AS PRESENTED:

Motion by _____, supported by _____, to approve the PSPR23-02 combined preliminary and final site plan dated January 30, 2023 for the Morey Courts Recreation Center Expansion located at 5175 E. Remus Road in the SW 1/4 of Section 13 and in the B-4 (General Business) zoning district, finding that the site plan fully complies with the applicable Zoning Ordinance requirements for preliminary and final site plan approval, including Sections 14.2.P. (Required Site Plan Information) and 14.2.S. (Standards for Site Plan Approval).

MOTION TO APPROVE ONLY THE PRELIMINARY SITE PLAN AS PRESENTED:

Motion by _____, supported by _____, to approve only the PSPR23-02 preliminary site plan dated January 30, 2023 for the Morey Courts Recreation Center Expansion located at 5175 E. Remus Road in the SW 1/4 of Section 13 and in the B-4 (General Business) zoning district, finding that the site plan fully complies with the applicable Zoning Ordinance requirements for preliminary site plan approval, including Sections 14.2.P. (Required Site Plan Information) and 14.2.S. (Standards for Site Plan Approval).

MOTION TO APPROVE THE COMBINED PRELIMINARY – FINAL SITE PLAN WITH CONDITIONS:

Motion by _____, supported by _____, to approve the PSPR23-02 combined preliminary and final site plan dated January 30, 2023 for the Morey Courts Recreation Center Expansion located at 5175 E. Remus Road in the SW 1/4 of Section 13 and in the B-4 (General Business) zoning district, finding that the site plan can comply with the applicable Zoning Ordinance requirements for preliminary and final site plan approval, including Sections 14.2.P. (Required Site Plan Information) and 14.2.S. (Standards for Site Plan Approval), subject to the following condition(s):

1. Add the required short-term bicycle parking facilities to the plan per Section 9.1.C.5.
2. Add the specific species of trees and shrubs as notes on the landscape plan sheet 8.
3. Zoning Administrator review and acceptance of the revised final site plan prior to issuance of a building permit for this project.
4. Planning Commission review and approval of the revised final site plan shall be required upon determination by the Zoning Administrator that any outside agency requirements or recommended changes from the Fire Department, stormwater management, or Township Public Services Department necessitate corresponding revisions to the final site design as depicted on the combined preliminary and final site plan dated January 30, 2023.

Draft Motions: PSPR 23-02 Combined Preliminary - Final Site Plan Review Application
Morey Courts Recreation Center Expansion

MOTION TO APPROVE ONLY THE PRELIMINARY SITE PLAN WITH CONDITIONS:

Motion by _____, supported by _____, to approve only the PSPR23-02 preliminary site plan dated January 30, 2023 for the Morey Courts Recreation Center Expansion located at 5175 E. Remus Road in the SW 1/4 of Section 13 and in the B-4 (General Business) zoning district, finding that the site plan can comply with the applicable Zoning Ordinance requirements for preliminary site plan approval, including Sections 14.2.P. (Required Site Plan Information) and 14.2.S. (Standards for Site Plan Approval), subject to the following condition(s):

MOTION TO POSTPONE ACTION:

Motion by _____, supported by _____, to postpone action on the PSPR23-02 combined preliminary and final site plan dated January 30, 2023 for the Morey Courts Recreation Center Expansion located at 5175 E. Remus Road until _____, 2022 for the following reasons:

1. Documentation of required outside agency permits and approvals has not yet been received by the Township from the Fire Department, stormwater management, and Township Public Services Department.
2. Permit or approval requirements or recommended changes from these outside agencies have significant potential to impact elements of the final site design.
3. The required short-term bicycle parking facilities and specific species of trees and shrubs are missing from the site plan and are necessary to verify compliance with applicable Zoning Ordinance standards.

MOTION TO DENY:

Motion by _____, supported by _____, to deny the PSPR23-02 combined preliminary and final site plan dated January 30, 2023 for the Morey Courts Recreation Center Expansion located at 5175 E. Remus Road in the SW 1/4 of Section 13 and in the B-4 (General Business) zoning district, finding that the site plan does not comply with applicable Zoning Ordinance requirements, including Sections 14.2.P. (Required Site Plan Information) and 14.2.S. (Standards for Site Plan Approval), for the following reasons:

MASTER PLAN REVIEW

TO: Planning Commission	DATE: January 10, 2023
FROM: Rodney C. Nanney, AICP, Community and Economic Development Director	
ACTION REQUESTED: To begin the five-year review of the adopted Master Plan as required by the Michigan Planning Enabling Act (Public Act 33 of 2008, as amended).	

Background Information

The Township's current Master Plan was adopted in 2018. As noted in the Introduction section of the document:

The Master Plan is a policy document created by the Union Township Planning Commission to guide the future growth and development of the township. A sound master plan helps ensure that Union Township remains a highly desirable place to live, work, or visit.

The relevance and importance of the Master Plan to the work of the Planning Commission and Township Staff cannot be understated. The Master Plan is a foundational planning document for the Township's adopted Zoning Ordinance and Official Zoning Map. The Master Plan's Future Land Use Map has also strongly influenced the location and extent of the Township's municipal water and municipal sanitary sewer service areas.

The Master Plan's future land use designation for sites subject to a site plan, special use, or similar zoning approval application is always noted in the Township's staff report for the project. In some cases, including the Dollar General, The Den on Broomfield mixed-use buildings, and the Prestige Center Assisted Living Facility Expansion projects, consideration of adopted Master Plan policies by the Planning Commission proved to be a key part of the decision-making process for the application.

State Act Requirements

Preparation and adoption of and any potential amendments to the Township's Master Plan are governed by the requirements of the [Michigan Planning Enabling Act](#) (Public Act 33 of 2008, as amended). Section 45(2) of Act 33 includes the following requirement for periodic Planning Commission review of the document:

At least every 5 years after adoption of a master plan, a planning commission shall review the master plan and determine whether to commence the procedure to amend the master plan or adopt a new master plan. The review and its findings shall be recorded in the minutes of the relevant meeting or meetings of the planning commission.

This five-year review requirement was intended by the state legislature to ensure that local

master plans remain relevant and a part of local decision-making, and to provide a mechanism for local planning commissions to determine if their plan needs to be amended or if it is time to institute the process for a new master plan. At the end of the review process, the expectation would be for the Planning Commission to adopt a motion that either confirms that the 2018 Master Plan needs to be amended or updated, or is acceptable to remain in-place without change.

Although this review can be perfunctory, staff recommends that the Planning Commission take advantage of this opportunity to thoroughly review and discuss the document in detail over the course of several meetings.

Master Plan Review Considerations

There are a number of ways that the Planning Commission can approach this review process. Some commissions have simply reviewed the document individually, and then deliberated together during a public meeting on a “yes” or “no” question as to whether the plan needs to be updated. Other commissions have taken the step during a public meeting to review and discuss the document together, page-by-page, before making a determination about whether it needs to be updated.

Staff recommends that the Planning Commission consider taking a policy-driven approach to this review, which would start with an initial review of the overall plan goals and objectives (see page 7 of the Plan) and move to a thorough evaluation of the Plan’s policy statements and recommendations on various subjects based on Commissioner interests. As part of this evaluation, the following general questions may be helpful to consider:

- 1. Have there been major changes in the community not anticipated in the current Master Plan?**
- 2. Are there instances where the Township has departed from the Master Plan in land use or development-related decisions? Do the reasons for these departures demonstrate a need for an overall revision of the Master Plan?**
- 3. Are all of the Plan’s goals, objectives, and policies still relevant and important to the current Planning Commission?**
- 4. Are the Plan’s goals, objectives, and policies consistent with the current “Ends” (desired outcomes) identified by the elected Board of Trustees in Section 1 of their [Policy Governance document](#)?**
- 5. What is missing?**

Economic Development Considerations

Although the current Master Plan does contain some economic development policies (such as the Bluegrass Center Area), the document could be significantly more proactive and beneficial in this area. There is also a need, based on changing market conditions and national trends in development of new manufacturing/research/warehouse/distribution facilities, to consider potential changes in the Future Land Use Map for economic development purposes.

To help support the Planning Commission's review from an economic development perspective, a copy of a more specific review checklist from the Redevelopment Ready Communities (RRC) Program has also been included in the packet.

Staff also recommends that the Planning Commission consider inviting Jim McBryde from the Middle Michigan Development Corporation to attend a future meeting to provide more background on the topic of local economic development needs and to answer questions from the Commission on this topic.

Copies of the 2018 Master Plan for Review

Each planning commissioner should have a paper copy of the document. Please bring your copy to the upcoming meeting.

If you do not have a paper copy of the Master Plan and would like one, please contact the Township office. A digital (.PDF) copy is also posted on the Township's website [<http://www.uniontownshipmi.com/>] under Departments > Zoning and Planning Services, or by clicking on the following link:

http://www.uniontownshipmi.com/Portals/0/Planning%20and%20Zoning/UnionTownshipMP_Adopted_2018.pdf?ver=2020-09-22-111307-823

Please contact me at (989) 772-4600 ext. 232, or via email at rnanney@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Rodney C. Nanney, AICP

Community and Economic Development Director

Section I: ENDS

1.0 POLICY TITLE: *GLOBAL END*

- 1.0 Union Township exists to support a sustainable community through the most effective use of resources that achieve the highest quality of life.

The highest quality of life encompasses sustained or enhanced:

1. Community well-being and the common good
2. Prosperity through economic diversity, cultural diversity, and social diversity
3. Safety
4. Health
5. Natural environment
6. Commerce

- 1.1 Residents engage in a vibrant community life.

1.1.1 All demographics within the township can feel welcomed, feel belonging, and engage with the community.

1.1.1.1 A welcoming atmosphere, promoting tolerance and inclusion of all cultures, orientations, and economic status.

1.1.1.2 Fair and nondiscriminatory code enforcement

1.1.1.3 Residents take pride in their community, understand its past and engage in its future.

1.1.2 Residents look to the township as a key information source for community activities, quality public services and resources in the region.

1.1.2.1 Create more frequent opportunities for citizen/Board dialogue

- 1.2 All residents can thrive and achieve more than their basic needs.

1.2.1 Diverse and special communities are attracted by the community's creative and innovative spirit and high quality of life.

- 1.3 All residents may enjoy a safe environment including:

1.3.1 Safe, accessible routes for pedestrians, bicyclists, and motorized vehicles.

1.3.2 Code enforcement to original specifications for commercial, industrial, and residential properties.

1.3.3 Safety in parks and township property.

1.3.4 Safe, well maintained roads

1.3.4.1 Create bike lanes and cross walks on roads

1.3.5 Safe and secure schools through intergovernmental efforts

- 1.4 Residents of all ages shall have access to facilities that enable an active, healthy lifestyle.

1.4.1 An accessible, walkable and bikeable community using the Greater Mt. Pleasant Area Non-Motorized Plan and Sidewalk and Pathways Committee recommendations as a guide

1.4.2 Drinking Water that meets or exceeds Michigan standards for quality of water.

1.4.3 Wastewater system meets or exceeds Michigan standards.

1.4.4 Create facilities at parks that can be used to facilitate an active and healthy lifestyle

- 1.5 Residents can enjoy the natural resources and green space of the township.
 - 1.5.1 Air, water and soil meet or exceed Michigan’s quality standards.
 - 1.5.2 People have optimum access to and enjoy a clean Chippewa River through intergovernmental efforts.
 - 1.5.3 Natural corridors optimized for enhanced commercial and residential districts.
 - 1.5.4 Increase use of alternative forms of energy within Township facilities and operations.

- 1.6. Commercial establishments, including new, innovative, and traditional, are drawn to Union Township through commerce –friendly economic development policies.
 - 1.6.1 Controlled establishment of potentially undesirable businesses.
 - 1.6.2 Create a purchasing policy that includes mechanism to encourage local purchase of goods and services within reasonable cost limits
 - 1.6.3 Create mechanism to increase dialogue with business community to ensure quality services are provided



INTRODUCTION

Redevelopment Ready Communities® Best Practice 1.1 evaluates community planning and how a community's development vision is embedded in the master plan and other related plans such as the capital improvements plan, downtown plan and corridor plan. Comprehensive planning documents are a community's guiding framework for growth and investment. The RRC program, based on state legislation and best practices, requires that the master plan is up to date and reflects a community's desired direction for the future. Michigan law requires that an adopted plan be reviewed at least every five years. This guide was prepared to help communities determine whether a comprehensive plan needs to be updated based on MPEA and RRC requirements and how to review the plan for potential updates. In addition, the RRC best practices require an annual review to keep implementation moving forward. This review could include a report to the local legislative body on implementation progress and future goals and offers a chance to refresh officials and inform new members about the plan and its components.

UPDATE REVIEW TABLE

RRC Master Plan

Use the table below to help consider whether your plan needs an overhaul, a refresh, or to add or replace sections of the plan. A refresh is for those that just require minor changes throughout the plan. Section additions or replacements may include new chapters, subareas, the future land use map and/or text, implementation steps, and/or RRC components. The first section of the checklist can be used as a checklist for the annual review and report as described above.

Annual	5-year	CRITERIA	Yes	No	COMMENTS/DOCUMENTATION/LINKS
✓	✓	Have development patterns changed significantly since the plan was written and adopted?	<input type="checkbox"/>	<input type="checkbox"/>	
✓	✓	Does the adopted zoning ordinance align with the goals of the plan?	<input type="checkbox"/>	<input type="checkbox"/>	
✓	✓	Have there been any major changes, such as utility lines, major road improvements, large development approvals, etc?	<input type="checkbox"/>	<input type="checkbox"/>	
✓	✓	Have there been instances when the planning commission or elected body has departed from the plan?	<input type="checkbox"/>	<input type="checkbox"/>	
✓	✓	Are the goals and priorities of the plan in sync with the goals and priorities of appointed and elected officials?	<input type="checkbox"/>	<input type="checkbox"/>	
✓	✓	Does the plan address the location and types of land uses frequently requested?	<input type="checkbox"/>	<input type="checkbox"/>	
✓	✓	Have there been other studies completed that change the relevancy of the plan?	<input type="checkbox"/>	<input type="checkbox"/>	
	✓	Have community goals or vision changed since the plan was written?	<input type="checkbox"/>	<input type="checkbox"/>	
	✓	Are recent best practices integrated? (i.e. Complete Streets, Placemaking, Sustainability, Missing Middle Housing, Local Food)	<input type="checkbox"/>	<input type="checkbox"/>	
	✓	Is the background data relevant and reference the most recent decennial census data and up-to-date local data?	<input type="checkbox"/>	<input type="checkbox"/>	
	✓	Is it user-friendly with clear organization and graphics?	<input type="checkbox"/>	<input type="checkbox"/>	
	✓	Does it reference goals and objectives for a downtown area?	<input type="checkbox"/>	<input type="checkbox"/>	
	✓	Is there an implementation plan including a CIP plan?	<input type="checkbox"/>	<input type="checkbox"/>	
	✓	Are a zoning plan and zoning objectives included?	<input type="checkbox"/>	<input type="checkbox"/>	
	✓	Is a redevelopment strategy provided?	<input type="checkbox"/>	<input type="checkbox"/>	

UPDATE REVIEW TABLE

RRC Master Plan

Annual	5-year	CRITERIA	Yes	No	COMMENTS/DOCUMENTATION/LINKS
	✓	Are priority sites for redevelopment and a strategy for implementation included?	<input type="checkbox"/>	<input type="checkbox"/>	
	✓	Have there been changes along the community borders?	<input type="checkbox"/>	<input type="checkbox"/>	
	✓	Is there upcoming major (re)development (corridor, transportation, university/hospital, utility, vacated sites, or industrial)?	<input type="checkbox"/>	<input type="checkbox"/>	
	✓	Do policy and recommendations support a safe, efficient multi-modal transportation system?	<input type="checkbox"/>	<input type="checkbox"/>	
	✓	Do permitted uses support the job market and reflect the local talent pool?	<input type="checkbox"/>	<input type="checkbox"/>	